



101 Yangoora Road
LAKEMBA

PROPOSED DUAL OCCUPANCY



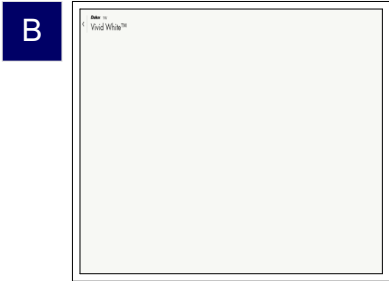
DRAWING SCHEDULE

- 01 FRONT PERSPECTIVE/CONTENTS
- 02 AXON RENDERS/MATERIALS
- 03 SITE PLAN
- 04 SUBDIVISION PLAN
- 05 SEDIMENT CONTROL PLAN
- 06 STREETSCAPE
- 07 SUN STUDY
- 08 SITE ANALYSIS PLAN
- 09 DEMOLITION PLAN
- 10 GROUND FLOOR PLAN
- 11 FIRST FLOOR PLAN
- 12 ROOF PLAN
- 13 ELEVATIONS
- 14 SECTIONS/COMMON WALL DETAIL
- 15 DRIVEWAY CROSS SECTIONS
- 16 WINDOW & DOOR SCHEDULE
- 17 GROUND FLOOR SETBACK CALCULATION PLAN
- 18 FIRST FLOOR SETBACK CALCULATION PLAN
- 19 LANDSCAPE PLAN
- 20 A4 NOTIFICATION PLAN (SITE)
- 21 A4 NOTIFICATION PLAN (ELEVATIONS)

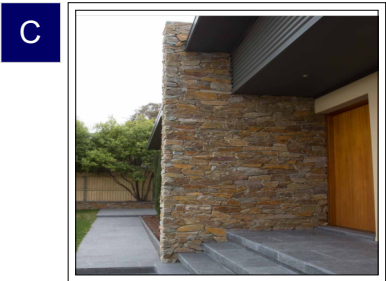
EXTERNAL MATERIAL SCHEDULE



PGH BRICKS - DARK & STORMY THUNDER



DULUX VIVID WHITE



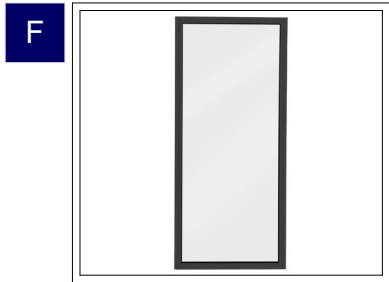
STONE CLADDING



COLORBOND ROOF - MONUMENT



TIMBER DOOR



ALUMINUM FRAMED WINDOW



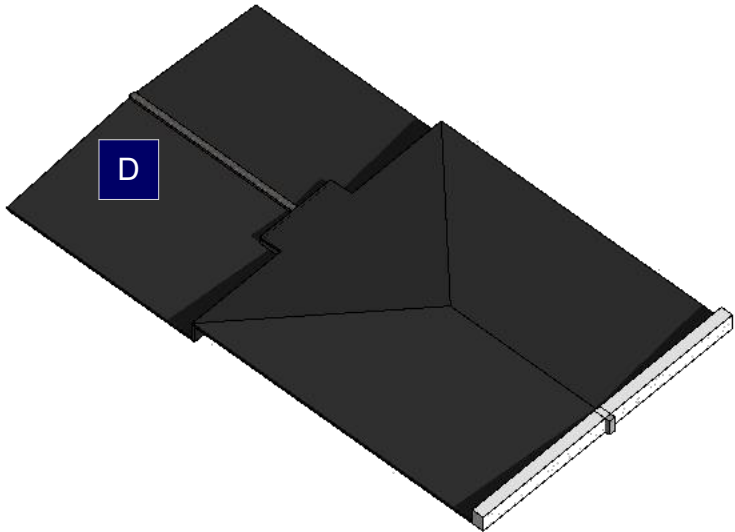
BLACK ALUMINIUM BLADE BALUSTRADE



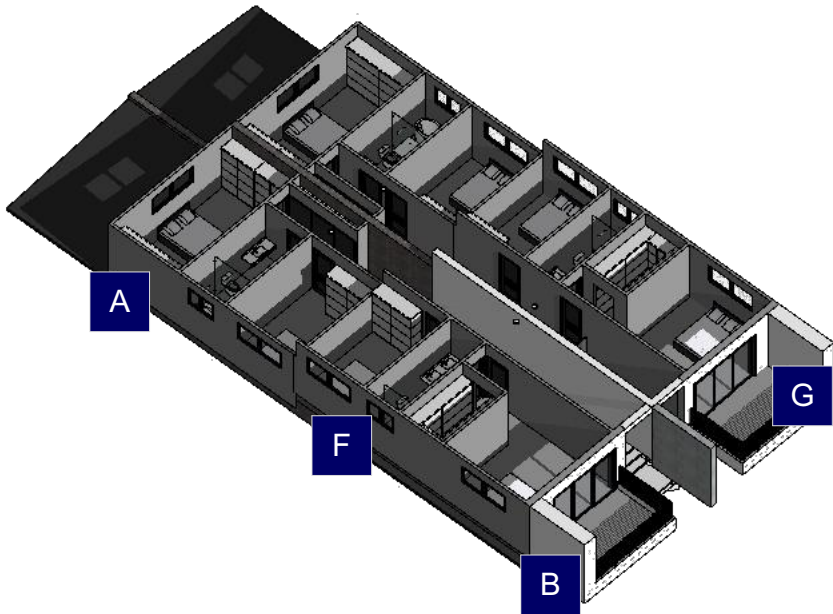
SEAMLESS GARAGE DOOR

AXONOMETRIC RENDERS

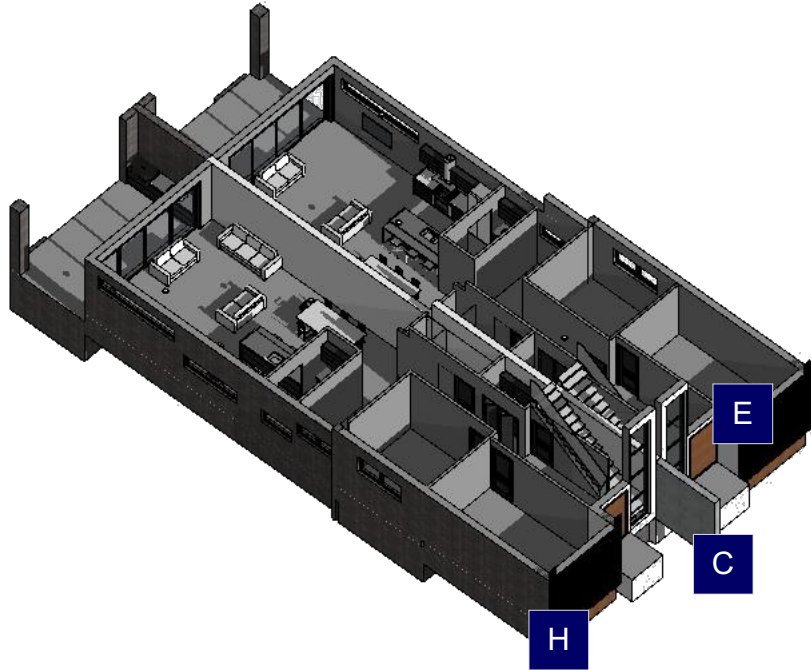
ROOF



FIRST FLOOR



GROUND FLOOR



LEGEND

S

SINK

+

REDUCED LEVEL

S/O

STOVE/OVEN COOKTOP

(SA)

SMOKE ALARM

W

WASHING MACHINE

D

DRYER

F

FRIDGE

DW

DISHWASHER

(DP)

DOWNPIPE

T.O.R

TOP OF ROOF

T.O.P

TOP OF PARAPET

B.I.R

BUILD IN ROBE

W.I.R

WALK IN ROBE

→

WATER FLOW DIRECTION

X°

ROOF PITCH

(FW)

FLOOR WASTE

L/C

LINEN CUPBOARD

P.O.S

PRIVATE OPEN SPACE

LP

LIGHT POLE

GENERAL NOTES

- THE BUILDER SHALL CHECK AND VERIFY ALL DIMENSIONS AND VERIFY ALL ERRORS AND OMISSIONS TO THE ARCHITECT. DO NOT SCALE THE DRAWINGS. DRAWINGS SHALL NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL ISSUED BY THE ARCHITECT FOR CONSTRUCTION.

- CHECK ALL DIMENSIONS ON THE JOB PRIOR TO COMMENCEMENT OF KITCHEN DRAWINGS OR FABRICATION. ANY DISCREPANCIES TO BE REFERRED TO THE ARCHITECT/ENGINEER/ DESIGNER PRIOR TO COMMENCEMENT OF WORK.

- ALL WORK TO BE IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA, HNSW DESIGN STANDARDS, THE LOCAL COUNCIL AND AUSTRALIAN STANDARDS.

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- FOOTINGS AND BEAMS TO ENGINEERS DRAWING AND DETAIL.

- TIMBER USED SHALL BE IN ACCORDANCE WITH AS 1684 OF TIMBER FRAMING CODE.

- PROVIDE 50mm SETDOWN TO SLAB TO WET AREA (GROUND FLOOR).

- WET AREAS TO BE IN ACCORDANCE WITH AS3740 WATERPROOFING OF WET AREAS WITHIN RESIDENTIAL BUILDINGS.

- SMOKE ALARMS ARE TO BE INSTALLED IN ACCORDANCE WITH AS3786. ALARMS TO BE POSITIONED ON THE CEILING AND SET BACK A MINIMUM DISTANCE 300mm FROM ANY WALL.

- ALL GROUND LINES ARE APPROXIMATE ONLY AND ARE TO BE VERIFIED ON SITE

- ALL WINDOW SIZES ARE APPROXIMATE ONLY AND FINAL SIZES MUST BE DETERMINED BY THE BUILDER

- CONCEALED METAL FASTENED SHEET TO BE USED FOR ALL SKILLION ROOF COVERING

REVISION	NAME	DATE
REVISION A	M.N	06/10/21
REVISION B	M.N	25/11/21
REVISION C	F.G	18/05/23
REVISION D - CLIENT CHANGES	M.N	28/07/23
REVISION E - FINALISED PLANS	K.N	04/03/24
REVISION E - PEGOUT	H.H	11/10/24
REVISION F - PCA CHANGES	M.M	05/11/24
REVISION G - DA CHANGES	M.M	03/12/24
REVISION G - DA PLANS	H.H	09/12/24
REVISION G - DA PLANS- SMALL AMENDMENT	A.I	16/12/24
REVISION H - DA PLANS- SMALL AMENDMENT	H.H	18/12/24
REVISION I - DA PLANS- AMENDMENTS	M.M	10/02/25

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Email: campbellhillgroup@hotmail.com

BUILDING DESIGNERS ASSOCIATION OF AUSTRALIA

Client

ELKAD

Project Name

DUAL OCCUPANCY

At

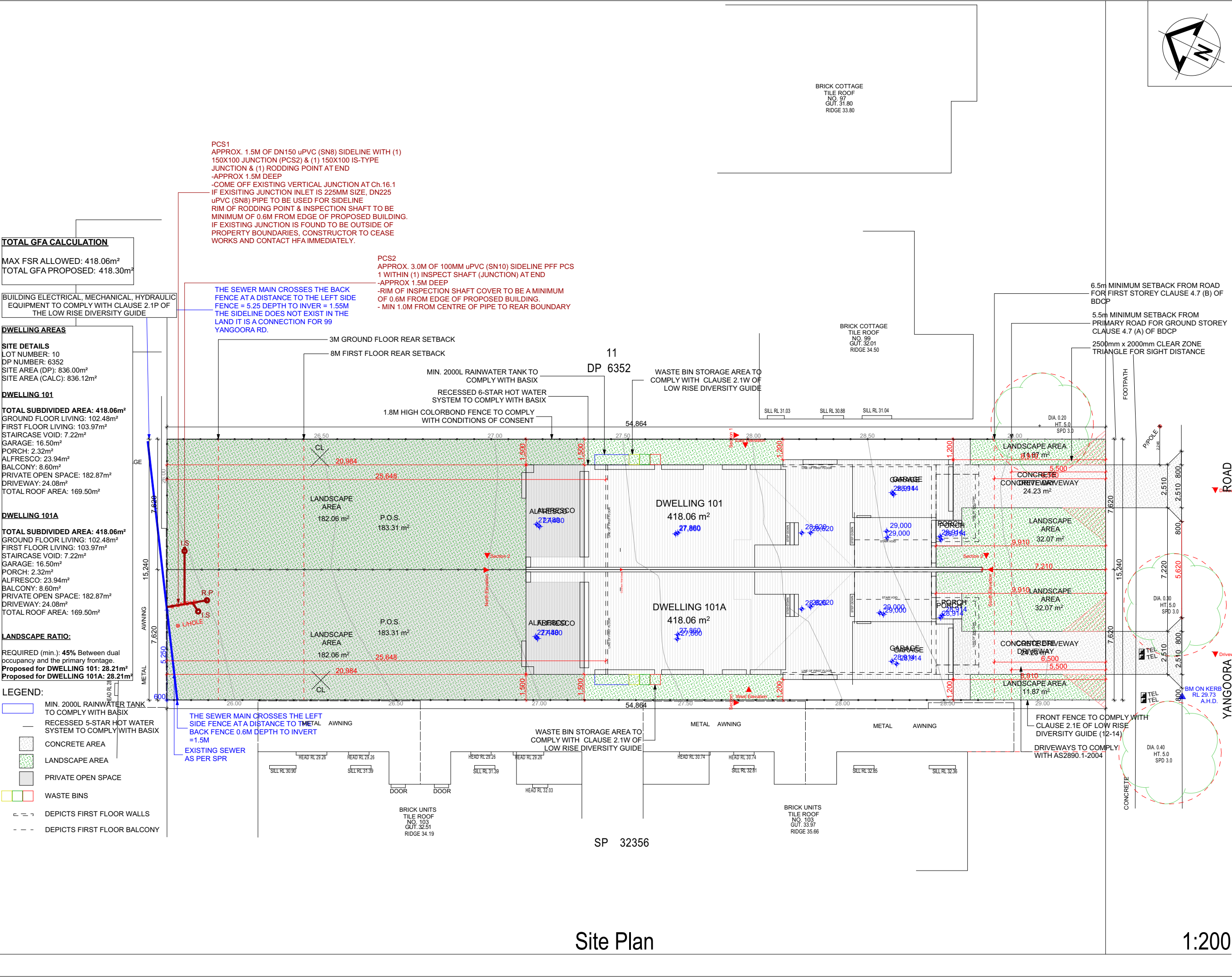
101 YANGOORA RD, LAKEMBA

Drawing Title:

- Axon Renders/ Materials

Ground Floor Axon, First Floor Axon, Roof Axon

BDAA ACCREDITATION NO:	Scale: As Noted	A3
6455	Designed By: M.N	
Project No:	Drawing No.:	
CDC0208	02	
Date:	10/02/2025	



LEGEND

S SINK
+ REDUCED LEVEL
S/O STOVE/OVEN COOKTOP
(SA) SMOKE ALARM
W WASHING MACHINE
D DRYER
F FRIDGE
DW DISHWASHER
(DP) DOWNPIPE
T.O.R TOP OF ROOF
T.O.P TOP OF PARAPET
B.I.R BUILD IN ROBE
W.I.R WALK IN ROBE
→ WATER FLOW DIRECTION
X° ROOF PITCH
(FW) FLOOR WASTE
L/C LINEN CUPBOARD
P.O.S PRIVATE OPEN SPACE
LP LIGHT POLE

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REVISION G - DA PLANS	H.H	09/12/24
REVISION G - DA PLANS - SMALL AMENDMENT	A.I	16/12/24
REVISION H - DA PLANS - SMALL AMENDMENT	H.H	18/12/24
REVISION I - BASIN AMENDMENTS	M.M	10/02/25

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bdad

BUILDING DESIGNERS

ASSOCIATION OF AUSTRALIA

Client

ELKAD

Project Name

DUAL OCCUPANCY

At

101 YANGOORA RD, LAKEMBA

Drawing Title:

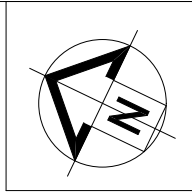
- Site Plan

BDAA ACCREDITATION NO: 6455
Scale: As Noted
Designed By: M.N

Project No: CDC0208
Drawing No.: 03
Date: 10/02/2025

Site Plan

1:200



LEGEND	
S	SINK
+	REDUCED LEVEL
S/O	STOVE/OVEN COOKTOP
(SA)	SMOKE ALARM
W	WASHING MACHINE
D	DRYER
F	FRIDGE
DW	DISHWASHER
(DP)	DOWNPIPE
T.O.R	TOP OF ROOF
T.O.P	TOP OF PARAPET
B.I.R	BUILD IN ROBE
W.I.R	WALK IN ROBE
→	WATER FLOW DIRECTION
X°	ROOF PITCH
(FW)	FLOOR WASTE
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P.O.S	PRIVATE OPEN SPACE
LP	LIGHT POLE

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REVISION G - DA PLANS	H.H	09/12/24
REVISION G - DA PLANS- SMALL AMENDMENT	A.I	16/12/24
REVISION H - DA PLANS- SMALL AMENDMENT	H.H	18/12/24
REVISION I - BASH AMENDMENTS	M.M	10/02/25



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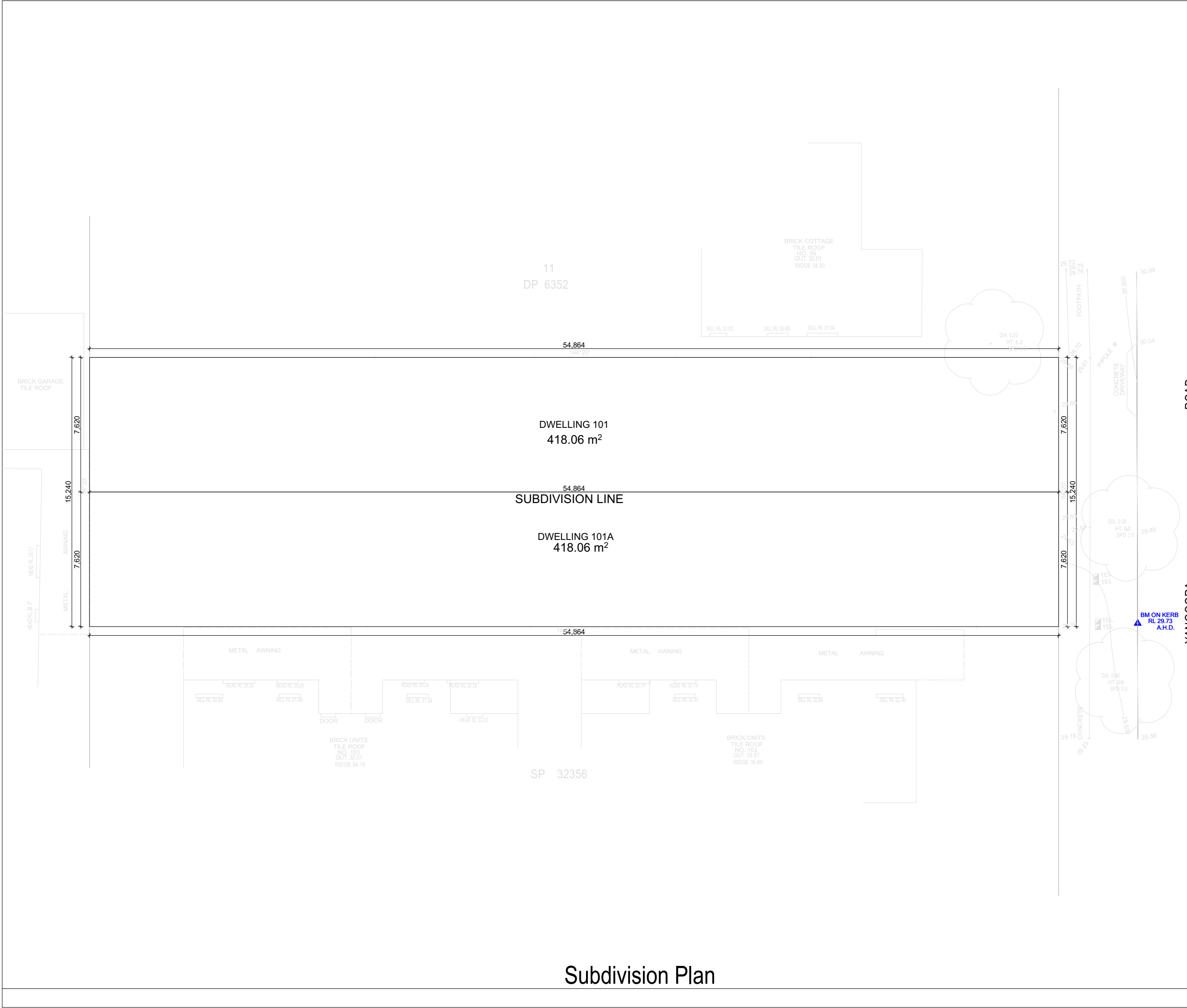
BDA
BUILDING DESIGNERS
ASSOCIATION OF AUSTRALIA

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ELKAD

Project Name
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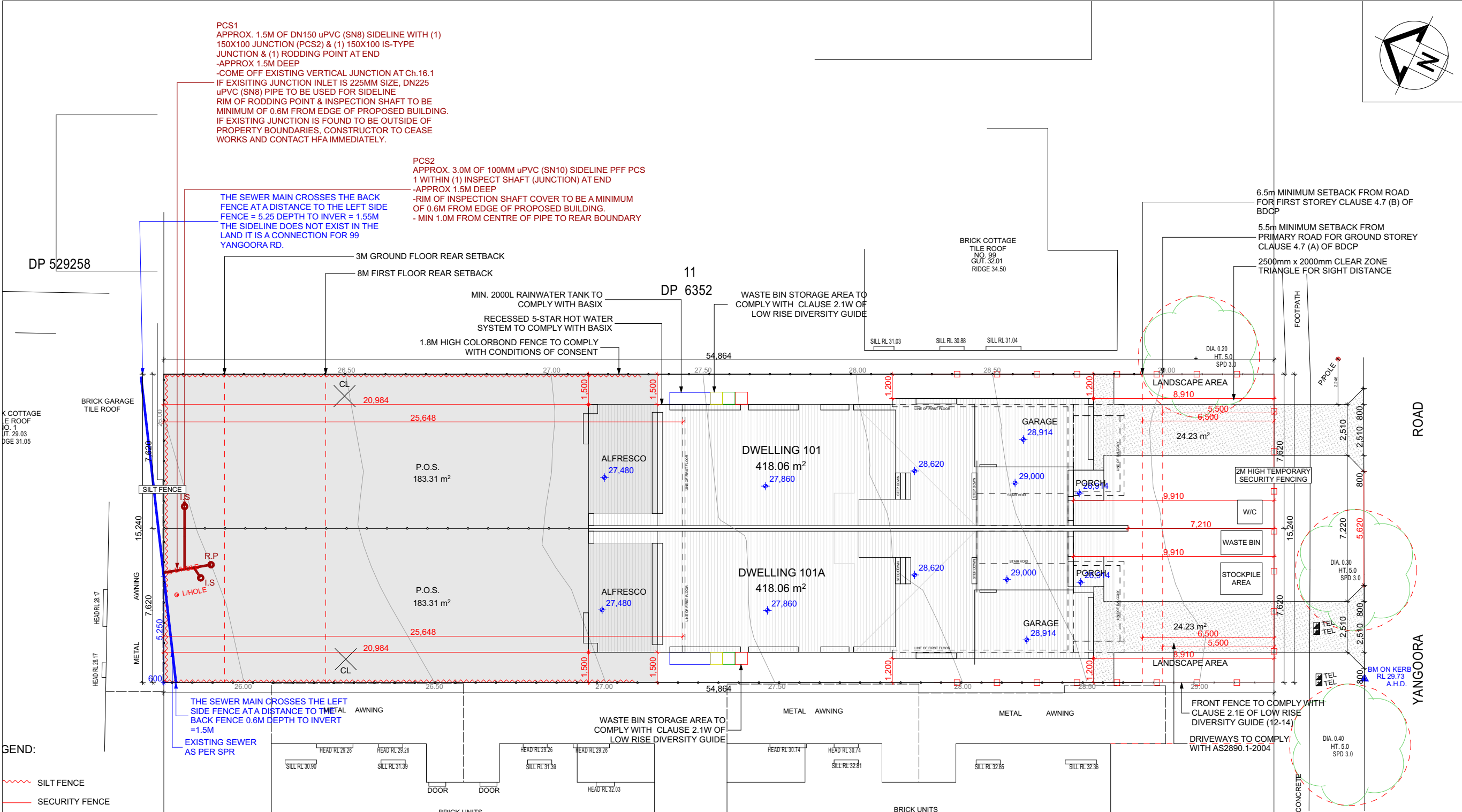
At
101 YANGOORA RD, LAKEMBA

Drawing Title: - Subdivision Plan Subdivision Plan		
BDAA ACCREDITATION NO: 6455	Scale: As Noted	A3
	Designed By: M.N	
Project No: CDC0208	Drawing No.: 04	
	Date: 10/02/2025	



Subdivision Plan

1:200



LEGEND

S SINK
+ REDUCED LEVEL
S/O STOVE/OVEN COOKTOP
(SA) SMOKE ALARM
W WASHING MACHINE
D DRYER
F FRIDGE
DW DISHWASHER
(DP) DOWNPIPE
T.O.R TOP OF ROOF
T.O.P TOP OF PARAPET
B.I.R BUILD IN ROBE
W.I.R WALK IN ROBE
→ WATER FLOW DIRECTION
X° ROOF PITCH
(FW) FLOOR WASTE
L/C LINEN CUPBOARD
P.O.S PRIVATE OPEN SPACE
LP LIGHT POLE

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ASSOCIATION OF AUSTRALIA

Client
ELKAD

Project Name
DUAL OCCUPANCY

At
101 YANGOORA RD, LAKEMBA

Drawing Title:
- Sediment Control Plan
Sediment Control Plan

BDAA ACCREDITATION NO:	Scale: As Noted	A3
6455	Designed By: M.N	
Project No:	Drawing No.:	
CDC0208	05	
Date:	10/02/2025	

STANDARD LINE TYPES AND SYMBOLS:

PROPOSED KERB & GUTTER
EXISTING KERB & GUTTER
PROPOSED BELOW GROUND PIPELINE
PROPOSED SUSPENDED PIPELINE
EXISTING PIPELINE
SUBSOIL DRAINAGE LINE
PROPOSED KERB INLET PIT
EXISTING KERB INLET PIT
PROPOSED JUNCTION OR INLET PIT
EXISTING JUNCTION OR INLET PIT
DESIGN CENTRELINE
EXISTING EDGE OF BITUMEN
TELECOMMUNICATION CONDUIT
GAS MAIN
WATER MAIN
SEWER MAIN
UNDERGROUND ELECTRICITY CABLES
PERMANENT MARK & S.S.M.
BENCH MARK, SURVEY STATION

SEDIMENT AND EROSION CONTROL NOTES

SEDIMENT AND EROSION CONTROL SHALL BE EFFECTIVELY MAINTAINED AT ALL TIMES DURING THE COURSE OF CONSTRUCTION AND SHALL NOT BE REMOVED UNTIL THE SITE HAS BEEN STABILISED OR LANDSCAPED TO THE SUPERINTENDENT'S SATISFACTION.

A SINGLE ALL WEATHER ACCESS WAY WILL BE PROVIDED AT THE FRONT OF THE PROPERTY CONSISTING OF 50-75 AGGREGATE OR SIMILAR MATERIAL AT A MINIMUM THICKNESS OF 150 LAID OVER NEEDLE-PUNCHED GEOTEXTILE FABRIC AND CONSTRUCTED PRIOR TO COMMENCEMENT OF WORKS.

THE CONTRACTOR SHALL ENSURE THAT NO SPOIL OR FILL ENCROACHES UPON ADJACENT AREAS FOR THE DURATION OF WORKS.

RECEIVING STORMWATER SHALL BE PROTECTED AT ALL TIMES DURING DEVELOPMENT. KERB INLET SEDIMENT TRAPS SHALL BE INSTALLED ALONG THE IMMEDIATE VICINITY ALONG THE STREET FRONTAGE.

SEDIMENT FENCING SHALL BE SECURED BY POST (WHERE METAL STR PICKETS ARE USED PLASTIC SAFETY CAPS SHALL BE USED) AT 2000 INTERVALS WITH GEOTEXTILE FABRIC EMBEDDED 200 IN SOIL.

ALL TOPSOIL STRIPPED FROM THE SITE AND STOCKPILED DOES NOT INTERFERE WITH DRAINAGE LINES AND STORMWATER INLETS AND WILL BE SUITABLY COVERED WITH AN IMPERVIOUS MEMBRANE MATERIAL AND SCREENED BY SEDIMENT FENCING.

SOIL CONSERVATION NOTE:
PRIOR TO COMMENCEMENT OF CONSTRUCTION PROVIDE 'SEDIMENT FENCE', 'SEDIMENT TRAP' AND WASHOUT AREA TO ENSURE THE CAPTURE OF WATER BORNE MATERIAL GENERATED FROM THE SITE.

MAINTAIN THE ABOVE DURING THE COURSE OF CONSTRUCTION, AND CLEAR THE SEDIMENT TRAP AFTER EACH STORM.

SEDIMENT TRAP
1000 x 1000 WIDE 500 DEEP PIT, LOCATED AT THE LOWEST POINT TO THE TRAP SEDIMENT.

SEDIMENT FENCE

PROVIDE 'SEDIMENT FENCE' ON DOWN SLOPE BOUNDARY AS SHOWN ON PLAN. FABRIC TO BE BURIED BELOW GROUND AT LOWER EDGE.

VEHICLE ACCESS TO SITE

VEHICLE ACCESS TO THE BUILDING SITE SHOULD BE RESTRICTED TO A SINGLE POINT SO AS TO REDUCE THE AMOUNT OF SOIL DEPOSITED ON THE STREET PAVEMENT.

GENERAL NOTES

THESE DRAWINGS SHALL BE READ IN CONJUNCTION WITH OTHER CONSULTANTS' DRAWINGS AND SPECIFICATIONS AND WITH OTHER SUCH WRITTEN INSTRUCTIONS AS MAY BE ISSUED DURING THE COURSE OF THE CONTRACT. ANY DISCREPANCY SHALL BE REFERRED TO THE ENGINEER BEFORE PROCEEDING WITH THE WORK.

ALL DIMENSIONS ARE IN MILLIMETRES & ALL LEVELS ARE IN METRES, UNO (UNLESS NOTED OTHERWISE).

NO DIMENSION SHALL BE OBTAINED BY SCALING THE DRAWINGS.

ALL LEVELS AND SETTING OUT DIMENSIONS SHOWN ON THE DRAWINGS SHALL BE CHECKED ON SITE PRIOR TO THE COMMENCEMENT OF THE WORK.

DURING EXCAVATION WORK THE STRUCTURE SHALL BE MAINTAINED IN A STABLE AND NO PART SHALL BE OVERSTRESSED.

ALL WORK IS TO BE UNDERTAKEN IN ACCORDANCE WITH THE DETAILS SHOWN ON THE DRAWINGS & THE SPECIFICATION.

EXISTING SERVICES WHERE SHOWN HAVE BEEN PLOTTED FROM SUPPLIED DATA AND SUCH THEIR ACCURACY CAN NOT BE GUARANTEED. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ESTABLISH THE LEVEL OF ALL EXISTING SERVICES PRIOR TO THE COMMENCEMENT OF WORK.

ALL SERVICE TRENCHES UNDER VEHICULAR PAVEMENTS SHALL BE BACK FILLED IN ACCORDANCE WITH THE REQUIREMENTS OF THE LOCAL COUNCIL.

ALL TRENCH BACK FILL MATERIAL SHALL BE COMPACTED TO THE SAME DENSITY AS THE ADJACENT MATERIAL.

ON COMPLETION OF STORMWATER INSTALLATION, ALL DISTURBED AREAS MUST BE RESTORED TO ORIGINAL CONDITION, INCLUDING KERBS, FOOTPATHS, CONCRETE AREAS, GRAVEL AND GRASSED AREAS AND ROAD PAVEMENTS, UNLESS DIRECTED OTHERWISE.

CONTRACTOR TO OBTAIN ALL AUTHORITY APPROVALS UNLESS DIRECTED OTHERWISE.

STORMWATER DRAINAGE

THE STORMWATER DRAINAGE DESIGN HAS BEEN CARRIED OUT IN ACCORDANCE WITH AS/NZS 3500.3 - 1996 'STORMWATER DRAINAGE' & AS/NZS 3500.3.2-1996 'STORMWATER DRAINAGE - ACCEPTABLE SOLUTIONS'.

ANY VARIATIONS TO THE NOMINATED LEVELS SHALL BE REFERRED TO ENGINEER IMMEDIATELY.

ANY VARIATIONS TO SPECIFIED PRODUCTS OR DETAILS SHALL BE REFERRED TO THE ENGINEER FOR APPROVAL.

DOWN PIPES SHALL BE A MINIMUM OF DN100 SW GRADE UPVC OR 100X100 COLORBOND/ZINCALUME STEEL, UNO.

BOX COLORBOND OR ZINCALUME STEEL. GUTTERS SHALL BE A MINIMUM OF 450 WIDE X 150 DEEP.

EAVES GUTTERS SHALL BE A MINIMUM OF 125 WIDE X 100 DEEP (OR OF EQUIVALENT AREA) COLORBOND OR ZINCALUME STEEL.

SUBSOIL DRAINAGE SHALL BE PROVIDED TO ALL RETAINING WALLS & EMBANKMENTS WITH THE LINES FEEDING INTO THE STORMWATER DRAINAGE SYSTEM.

SEDIMENT CONTROL PLAN

LEGEND

S

SINK

+

REDUCED LEVEL

S/O

STOVE/OVEN COOKTOP

(SA)

SMOKE ALARM

W

WASHING MACHINE

D

DRYER

F

FRIDGE

DW

DISHWASHER

(DP)

DOWNSPIPE

T.O.R

TOP OF ROOF

T.O.P

TOP OF PARAPET

B.I.R

BUILD IN ROBE

W.I.R

WALK IN ROBE

→

WATER FLOW DIRECTION

X°

ROOF PITCH

(FW)

FLOOR WASTE

L/C

LINEN CUPBOARD

P.O.S

PRIVATE OPEN SPACE

LP

LIGHT POLE

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- CONCEALED METAL FASTENED SHEET TO BE USED FOR ALL SKILLION ROOF COVERING

REVISION	NAME	DATE
REVISION A	M.N	06/10/21
REVISION B	M.N	25/11/21
REVISION C	F.G	18/05/23
REVISION D - CLIENT CHANGES	M.N	28/07/23
REVISION E - FINALISED PLANS	K.N	04/03/24
REVISION E - PEGOUT	H.H	11/10/24
REVISION F - PCA CHANGES	M.M	05/11/24
REVISION G - DA CHANGES	M.M	03/12/24
REVISION G - DA PLANS	H.H	09/12/24
REVISION G - DA PLANS- SMALL AMENDMENT	A.I	16/12/24
REVISION H - DA PLANS- SMALL AMENDMENT	H.H	18/12/24
REVISION I - BASIC AMENDMENTS	M.M	10/02/25

CAMPBELL HILL
GROUP PTY LTD.
Contact: 0433 375 398
Email: campbellhillgroup@hotmail.com

BDA
BUILDING DESIGNERS
ASSOCIATION OF AUSTRALIA

Client
ELKAD

Project Name
DUAL OCCUPANCY

At
101 YANGOORA RD, LAKEMBA

Drawing Title:
- Sun Study
June 21 12pm, June 21 3pm, June 21 9am

BDA ACCREDITATION NO:

6455

Scale:

As Noted

A3

Project No:

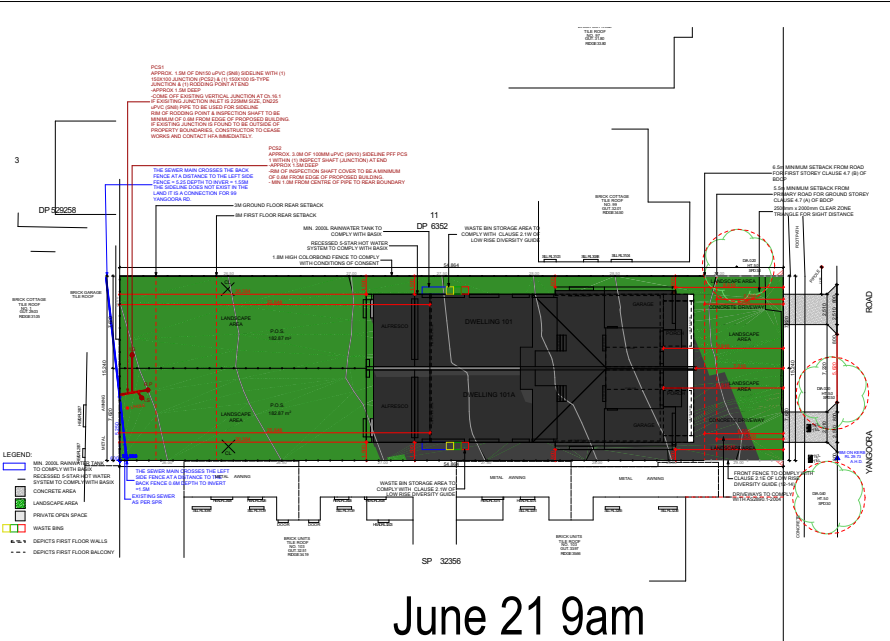
CDC0208

Drawing No.:

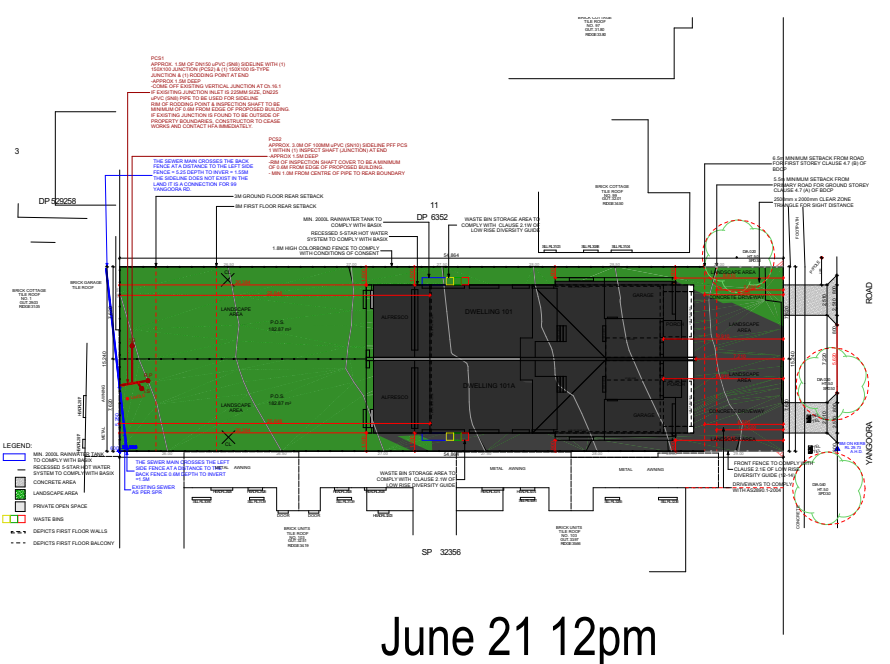
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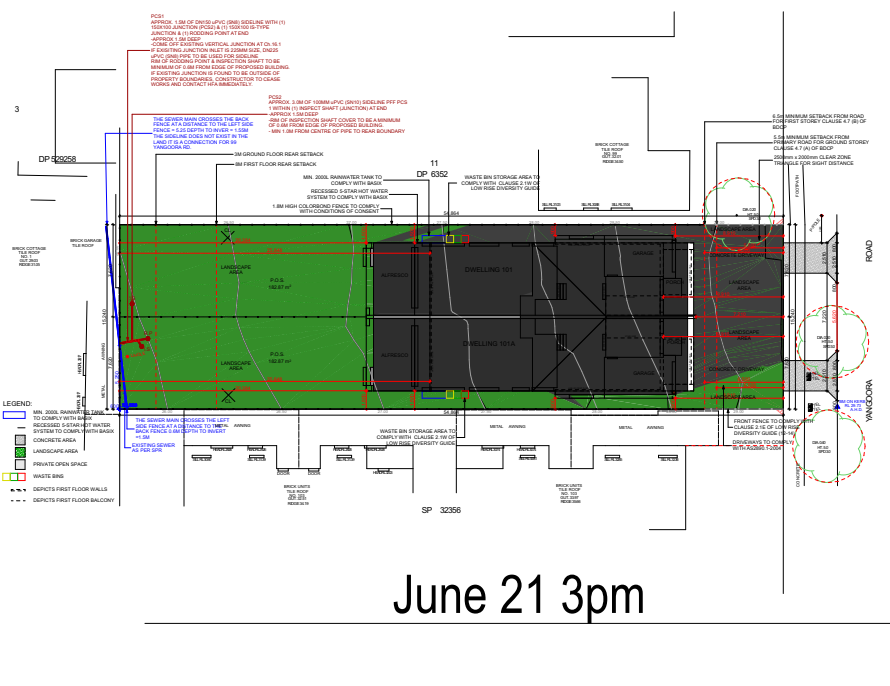
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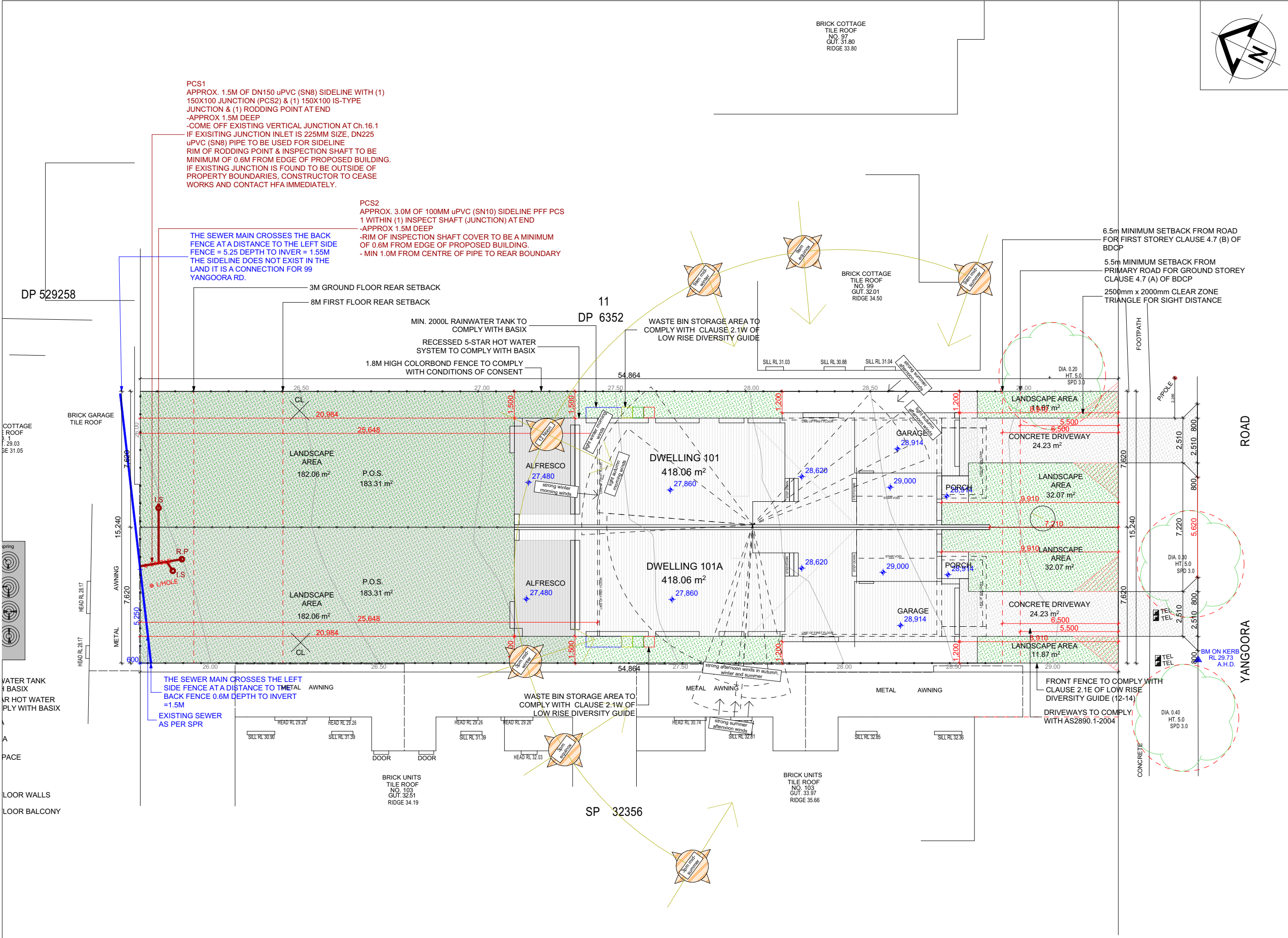
June 21 9am



June 21 12pm



June 21 3pm



LEGEND

S SINK
+ REDUCED LEVEL
S/O STOVE/OVEN COOKTOP
(SA) SMOKE ALARM
W WASHING MACHINE
D DRYER
F FRIDGE
DW DISHWASHER
(DP) DOWNPIPE
(T.O.R) TOP OF ROOF
(T.O.P) TOP OF PARAPET
(B.I.R) BUILD IN ROBE
(W.I.R) WALK IN ROBE
→ WATER FLOW DIRECTION
X° ROOF PITCH
(FW) FLOOR WASTE
(L/C) LINEN CUPBOARD
(P.O.S) PRIVATE OPEN SPACE
LP LIGHT POLE

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REVISION E - PEGOUT	H.H	11/10/24
REVISION F - PCA CHANGES	M.M	05/11/24
REVISION G - DA CHANGES	M.M	03/12/24
REVISION G - DA PLANS	H.H	09/12/24
REVISION G - DA PLANS - SMALL AMENDMENT	A.I	16/12/24
REVISION H - DA PLANS - SMALL AMENDMENT	H.H	18/12/24
REVISION I - BASIS AMENDMENTS	M.M	10/02/25

CAMPBELL HILL GROUP PTY LTD.
Contact: 0433 375 386
Email: campbellhillgroup@hotmail.com

BDAA
BUILDING DESIGNERS
ASSOCIATION OF AUSTRALIA

Client
ELKAD

Project Name
DUAL OCCUPANCY

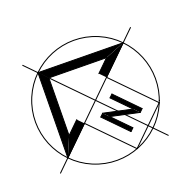
At
101 YANGOORA RD, LAKEMBA

Drawing Title:
- Site Analysis
Site Analysis Plan

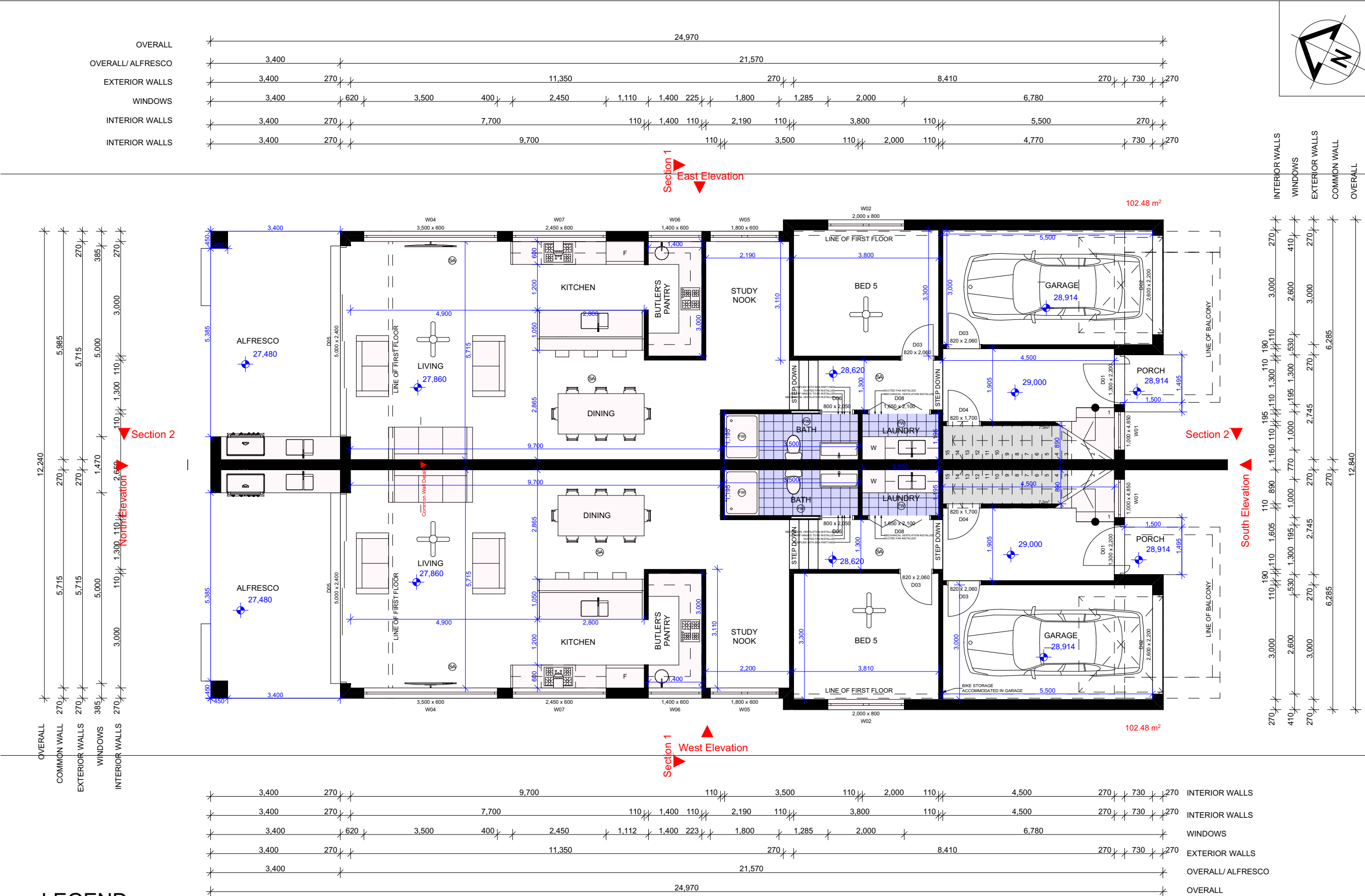
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6455	Designed By: M.N	
Project No:	Drawing No.:	
CDC0208	08	
Date:	10/02/2025	

Site Analysis Plan

1:200



Date: 10/02/2025



S

+

S/O

(SA)

W

D

F

DW

(DP)

T.O.R

T.O.P

B.I.R

W.I.R

→

X°

(FW)

L/C

P.O.S

LP

SINK

REDUCED LEVEL

STOVE/OVEN COOKTOP

SMOKE ALARM

WASHING MACHINE

DRYER

FRIDGE

DISHWASHER

DOWNPIPE

TOP OF ROOF

TOP OF PARAPET

BUILD IN ROBE

WALK IN ROBE

WATER FLOW DIRECTION

ROOF PITCH

FLOOR WASTE

LINEN CUPBOARD

PRIVATE OPEN SPACE

LIGHT POLE

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REVISION I - DA PLANS- SMALL AMENDMENT	M.M	10/02/25

CAMPBELL HILL

GROUP PTY LTD.

Contact: 0433 375 398
Email: campbellhillgroup@hotmail.com

bdaa

BUILDING DESIGNERS

ASSOCIATION OF AUSTRALIA

Client

ELKAD

Project Name

DUAL OCCUPANCY

At

101 YANGOORA RD, LAKEMBA

Drawing Title:

- Ground Floor Plan

Ground Floor

BDAA ACCREDITATION NO:

6455

Scale:

As Noted

A3

Project No:

CDC0208

Drawing No.:

10

Date:

10/02/2025

LEGEND:

— — —

DEPICTS FIRST FLOOR WALLS

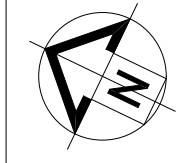
- - -

DEPICTS FIRST FLOOR BALCONY

STORAGE SPACE

Ground Floor

1:100



LEGEND

- S SINK
- ⬆ REDUCED LEVEL
- S/O STOVE/OVEN COOKTOP
- (SA) SMOKE ALARM
- W WASHING MACHINE
- D DRYER
- F FRIDGE
- DW DISHWASHER
- (DP) DOWNPIPE
- T.O.R TOP OF ROOF
- T.O.P TOP OF PARAPET
- B.I.R BUILD IN ROBE
- W.I.R WALK IN ROBE
- WATER FLOW DIRECTION
- X° ROOF PITCH
- (FW) FLOOR WASTE
- L/C LINEN CUPBOARD
- P.O.S PRIVATE OPEN SPACE
- LP LIGHT POLE

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REVISION G - DA PLANS - SMALL AMENDMENT	A.I	16/12/24
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REVISION I - BASIN AMENDMENTS	M.M	10/02/25


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BDAA
BUILDING DESIGNERS
ASSOCIATION OF AUSTRALIA

Client
ELKAD

Project Name
DUAL OCCUPANCY

At
101 YANGOORA RD, LAKEMBA

Drawing Title:
- First Floor Plan
First Floor

BDAA ACCREDITATION NO:
6455

Scale: As Noted
Designed By: M.N

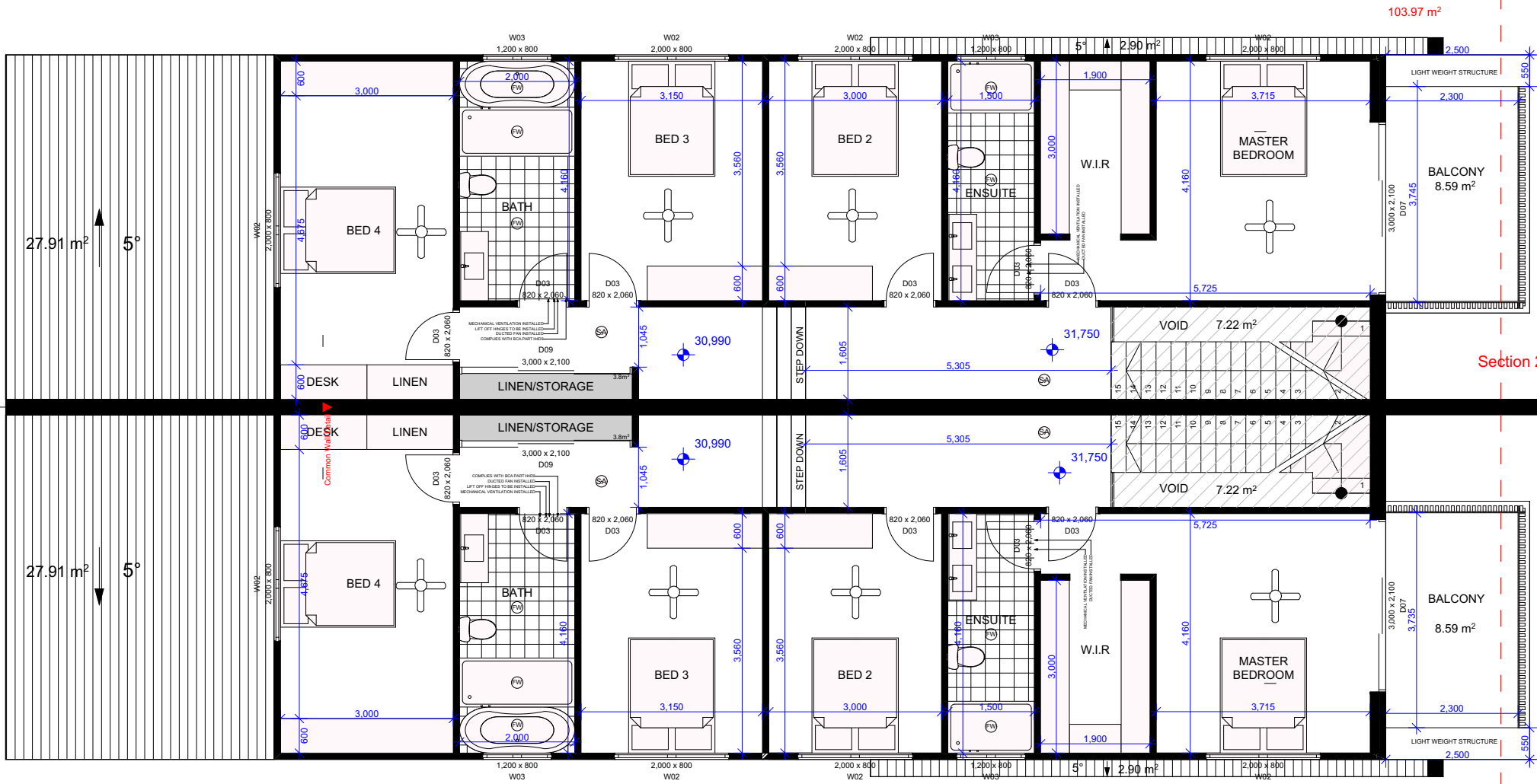
Project No:
CDC0208

Drawing No.:
11

Date: 10/02/2025

OVERALL	19,306
EXTERIOR WALLS	18,926
WINDOWS	3,620 1,200 1,085 2,000 1,185 2,000 760 1,200 3,127 2,000 1,128
INTERIOR WALLS	3,000 110 2,000 110 3,150 110 3,000 110 1,500 110 1,900 110 3,715 270
INTERIOR WALLS	3,000 110 3,000 110 12,705 270

Section 1
East Elevation

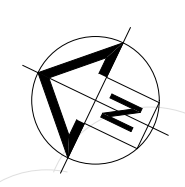
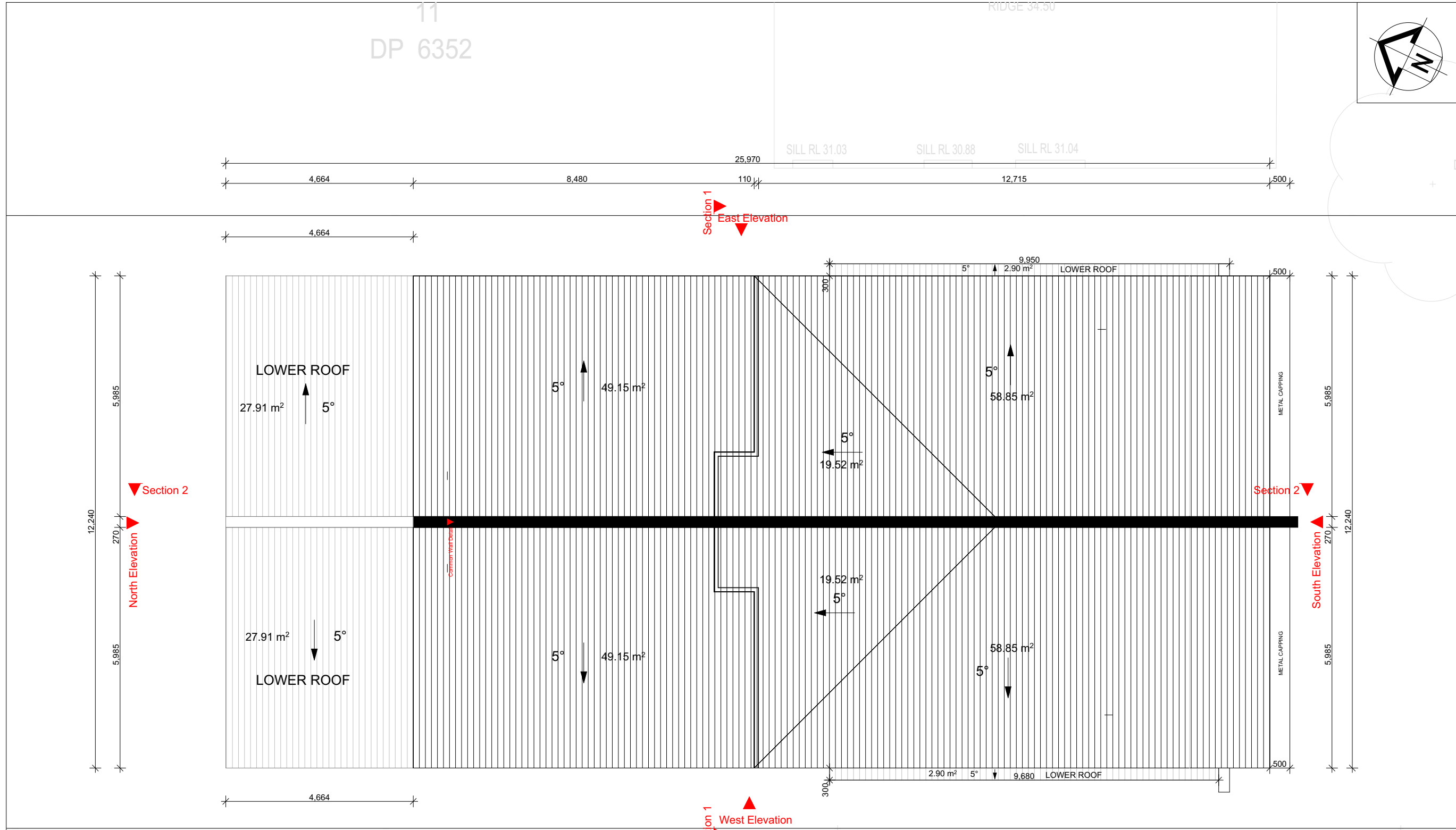


Section 1
West Elevation

110	3,000	110	3,000	110	12,705	270	INTERIOR WALLS																	
110	3,000	110	2,000	110	3,260	3,000	110	1,500	110	1,900	110	3,715	270	INTERIOR WALLS										
	3,620		1,200		1,085		2,000		1,185		2,000		760		1,200		3,127		2,000		1,128	270	WINDOWS	
110							18,926															270	EXTERIOR WALLS	
							19,306																	OVERALL

First Floor

1:100



LEGEND	
S	SINK
⬆	REDUCED LEVEL
S/O	STOVE/OVEN COOKTOP
(SA)	SMOKE ALARM
W	WASHING MACHINE
D	DRYER
F	FRIDGE
DW	DISHWASHER
(DP)	DOWNPIPE
T.O.R	TOP OF ROOF
T.O.P	TOP OF PARAPET
B.I.R	BUILD IN ROBE
W.I.R	WALK IN ROBE
→	WATER FLOW DIRECTION
X°	ROOF PITCH
(FW)	FLOOR WASTE
L/C	LINEN CUPBOARD
P.O.S	PRIVATE OPEN SPACE
LP	LIGHT POLE

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BDA
BUILDING DESIGNERS
ASSOCIATION OF AUSTRALIA

Client
ELKAD

Project Name
DUAL OCCUPANCY

At
101 YANGOORA RD, LAKEMBA

Drawing Title: - Roof Plan Roof Plan		
BDAA ACCREDITATION NO: 6455	Scale: As Noted Designed By: M.N	A3
Project No: CDC0208	Drawing No.: 12	
Date:	10/02/2025	

Roof Plan

1:100

BRICK UNITS
TILE ROOF

METAL AWNING

HEAD RL 29.26
SILL RL 31.39

HEAD RL 29.26
HEAD RL 32.03

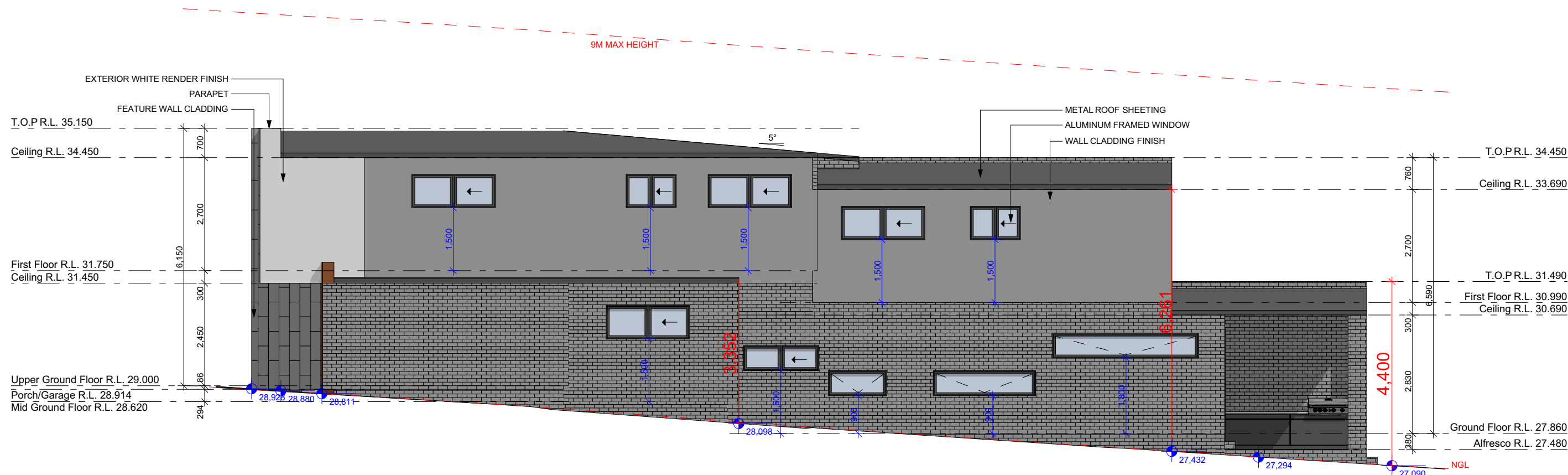
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SILL RL 32.81

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SILL RL 32.85

SILL RL 32.36

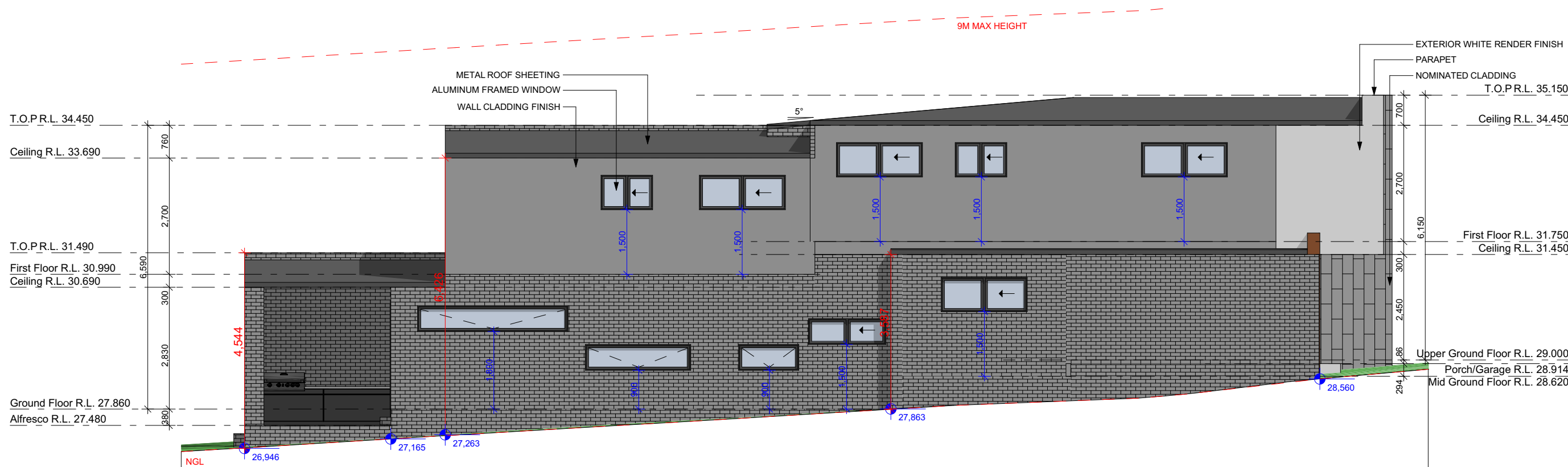
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East Elevation

1:100



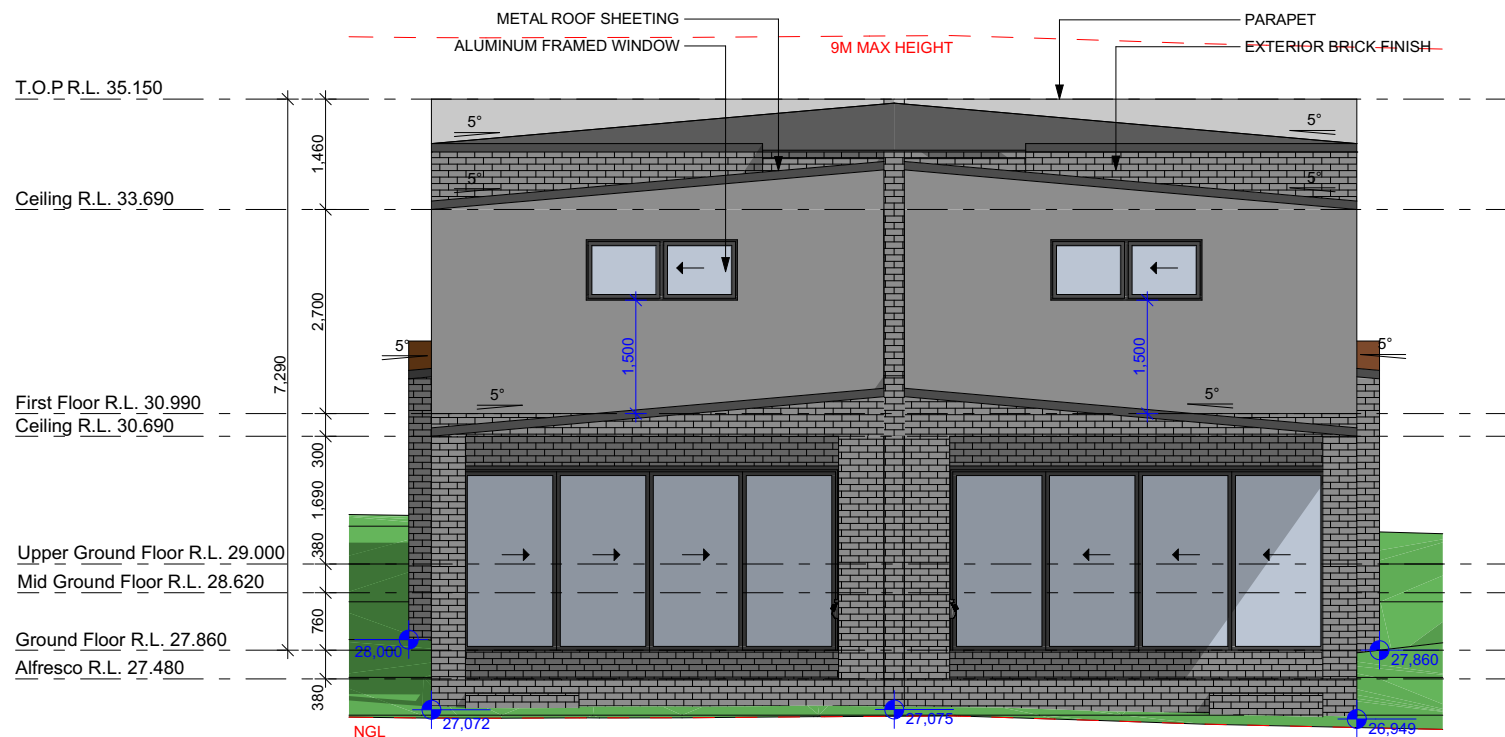
West Elevation

1:100



South Elevation

1:100



North Elevation

1:100

LEGEND

S	SINK
+	REDUCED LEVEL
S/O	STOVE/OVEN COOKTOP
(SA)	SMOKE ALARM
W	WASHING MACHINE
D	DRYER
F	FRIDGE
DW	DISHWASHER
(DP)	DOWNPIPE
T.O.R	TOP OF ROOF
T.O.P	TOP OF PARAPET
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REVISION G - DA PLANS: SMALL AMENDMENT	A.I	16/12/24
REVISION H - DA PLANS: SMALL AMENDMENT	H.H	18/12/24
REVISION I - BACKS AMENDMENTS	M.M	10/02/25



Client

ELKAD

Project Name

DUAL OCCUPANCY

At

101 YANGOORA RD, LAKEMBA

Drawing Title:

- Elevations

East Elevation, West Elevation, South Elevation, North Elevation

BDAA ACCREDITATION NO:

6455

Project No:

CDC0208

Date:

Scale: As Noted

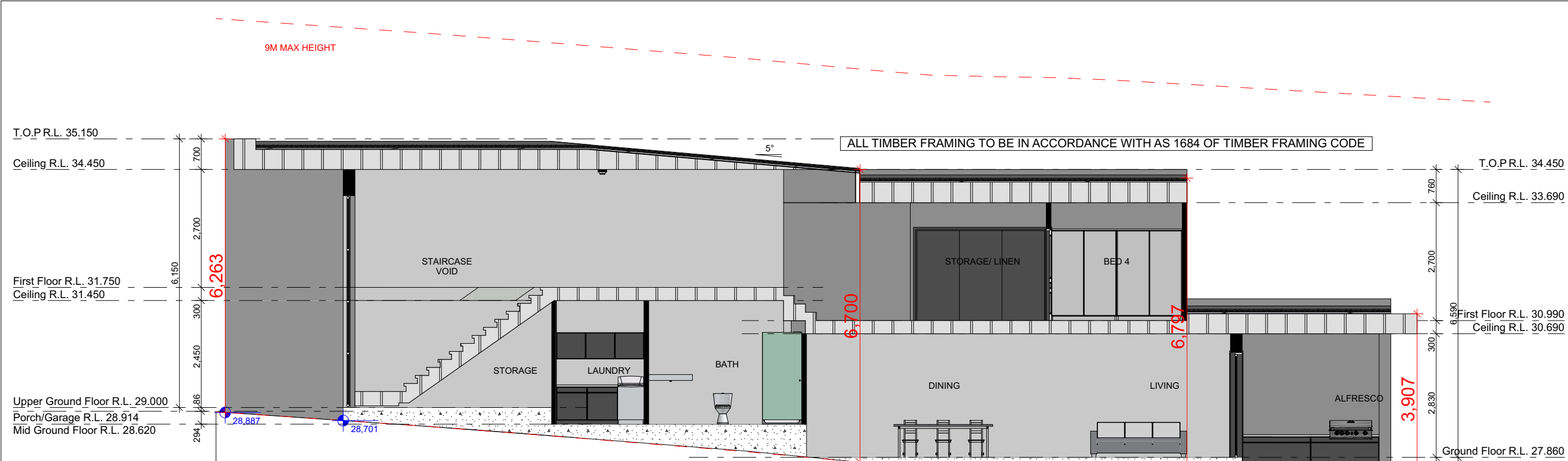
A2

Designed By: M.N

Drawing No.:

13

10/02/2025



Section 2

1:100

LEGEND	
S	SINK
⬆	REDUCED LEVEL
S/O	STOVE/OVEN COOKTOP
(SA)	SMOKE ALARM
W	WASHING MACHINE
D	DRYER
F	FRIDGE
DW	DISHWASHER
(DP)	DOWNPIPE
T.O.P	TOP OF ROOF
T.O.P	TOP OF PARAPET
B.I.R	BUILD IN ROBE
W.I.R	WALK IN ROBE
→	WATER FLOW DIRECTION
X°	ROOF PITCH
(FW)	FLOOR WASTE
L/C	LINEN CUPBOARD
P.O.S	PRIVATE OPEN SPACE
LP	LIGHT POLE

GENERAL NOTES

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- CONCEALED METAL FASTENED SHEET TO BE USED FOR ALL SKILLION ROOF COVERING

REVISION	NAME	DATE
REVISION A	M.N	06/10/21
REVISION B	M.N	25/11/21
REVISION C	F.G	18/05/23
REVISION D - CLIENT CHANGES	M.N	28/07/23
REVISION E - FINALISED PLANS	K.N	04/03/24
REVISION E - PEGOUT	H.H	11/10/24
REVISION F - PCA CHANGES	M.M	05/11/24
REVISION G - DA CHANGES	M.M	03/12/24
REVISION G - DA PLANS	H.H	09/12/24
REVISION G - DA PLANS - SMALL AMENDMENT	A.I	16/12/24
REVISION H - DA PLANS - SMALL AMENDMENT	H.H	18/12/24
REVISION I - DA PLANS - SMALL AMENDMENTS	M.M	10/02/25

CAMPBELL HILL
GROUP PTY LTD.
Contact: 0433 375 398
Email: campbellhillgroup@hotmail.com

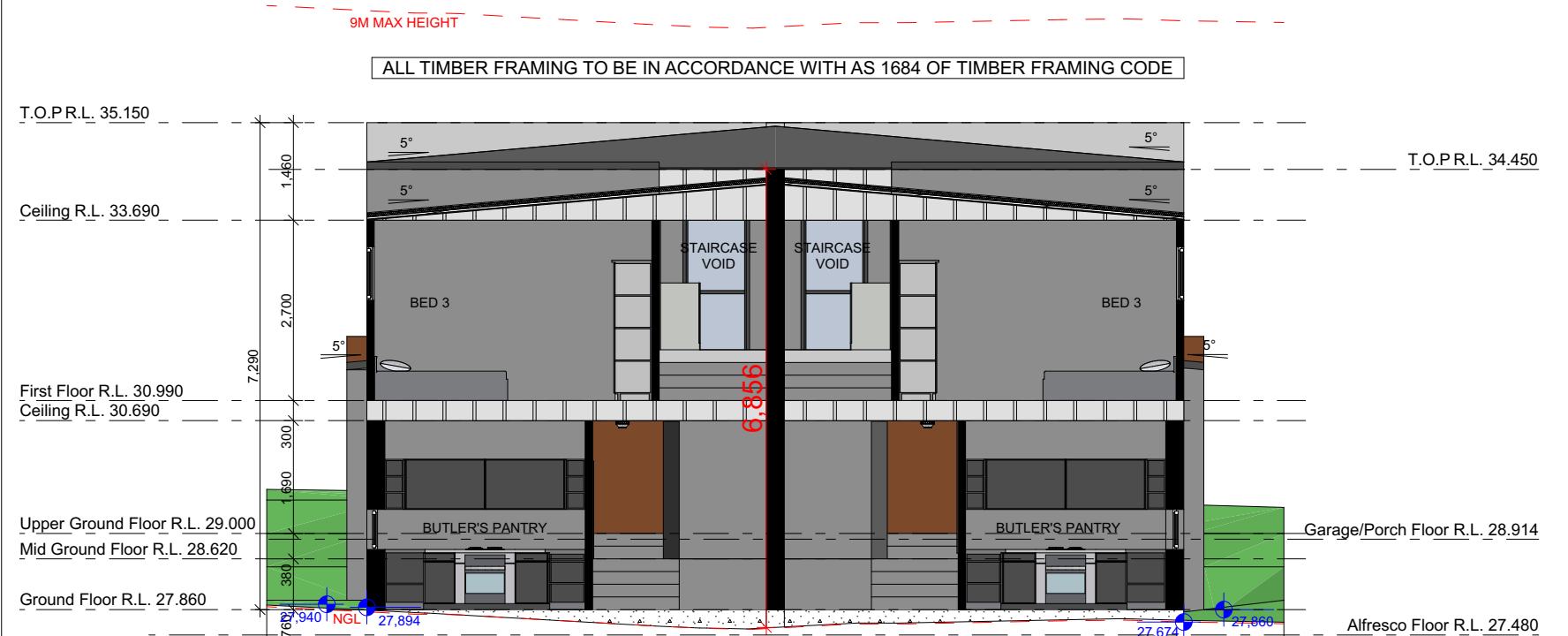
bdaa
BUILDING DESIGNERS
ASSOCIATION OF AUSTRALIA

Client
ELKAD

Project Name
DUAL OCCUPANCY

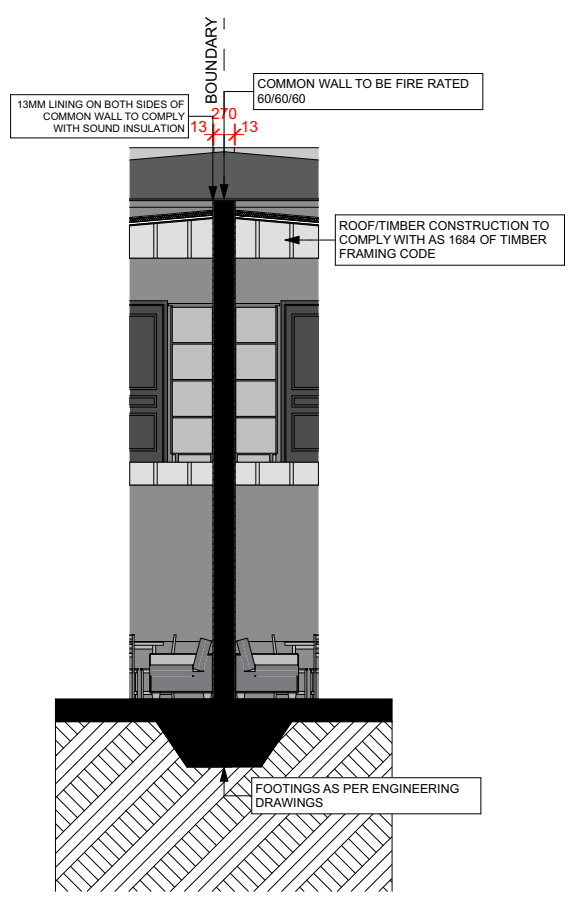
At
101 YANGOORA RD, LAKEMBA

Drawing Title: - Sections/ Common Wall Section Section 1, Section 2, Common Wall Detail		
BDAA ACCREDITATION NO: 6455	Scale: As Noted	A3
Project No: CDC0208	Designed By: M.N	
Date:	Drawing No.: 14	
		10/02/2025



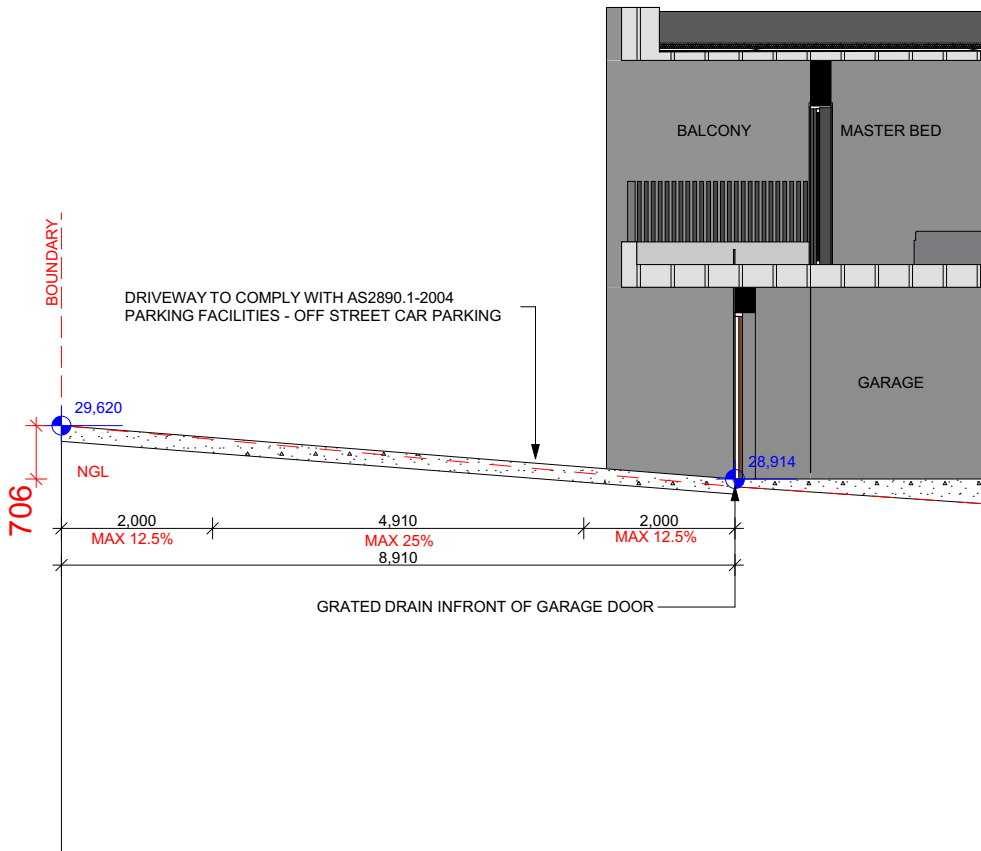
Section 1

1:100

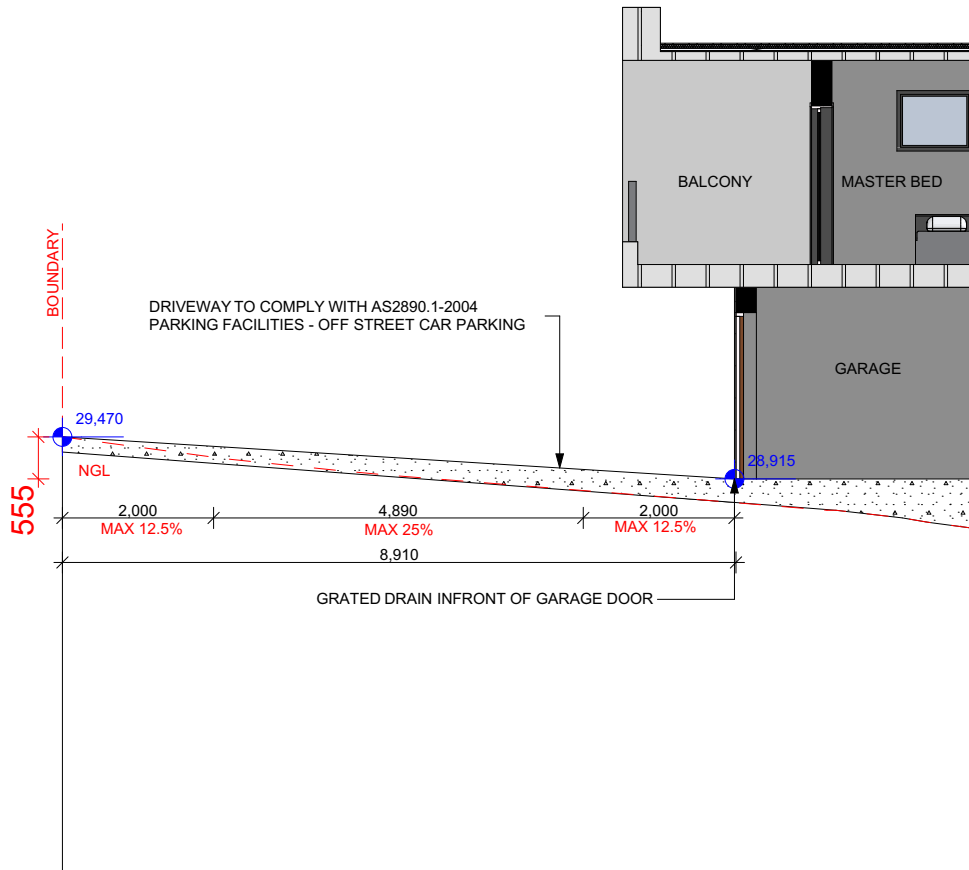


Common Wall Detail

1:100



Driveway Cross Section Dwelling 101 1:100



Driveway Cross Section Dwelling 101A 1:100

LEGEND	
S	SINK
⬆	REDUCED LEVEL
S/O	STOVE/OVEN COOKTOP
(SA)	SMOKE ALARM
W	WASHING MACHINE
D	DRYER
F	FRIDGE
DW	DISHWASHER
(DP)	DOWNPIPE
T.O.R	TOP OF ROOF
T.O.P	TOP OF PARAPET
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→	WATER FLOW DIRECTION
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(FW)	FLOOR WASTE
L/C	LINEN CUPBOARD
P.O.S	PRIVATE OPEN SPACE
LP	LIGHT POLE

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REVISION G - DA CHANGES	M.M	03/12/24
REVISION G - DA PLANS	H.H	09/12/24
REVISION G - DA PLANS- SMALL AMENDMENT	A.I	16/12/24
REVISION H - DA PLANS- SMALL AMENDMENT	H.H	18/12/24
REVISION I - DA PLANS- SMALL AMENDMENTS	M.M	10/02/25


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Email: campbellhillgroup@hotmail.com


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BUILDING DESIGNERS
ASSOCIATION OF AUSTRALIA

Client
ELKAD

Project Name
DUAL OCCUPANCY

At
101 YANGOORA RD, LAKEMBA

Drawing Title:
- Driveway Cross Section
Driveway Cross Section Dwelling 101, Driveway Cross Section Dwelling 101A

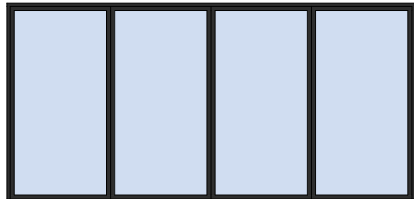
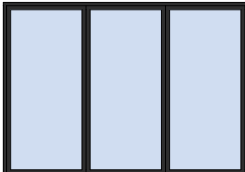
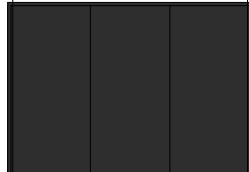
BDA ACCREDITATION NO:	Scale: As Noted	A3
6455	Designed By: M.N	

Project No:	Drawing No.:
CDC0208	15

Date: 10/02/2025

DOOR SCHEDULE

D00 REPRESENTS DOOR OPENINGS

Door Schedule												
Home Story	Ground Floor								First Floor			
Door Name	Door 26	Door 26	Pivot Door 26	Pocket Door 26	Rectangular Door Opening 26	Sliding Door 26	Sliding Folding Multipanel Door 26	Tilt Garage Door 26	Door 26	Rectangular Door Opening 26	Sliding Door 26	Sliding Door 26
ID	D03	D04	D01	D06	D00	D05	D08	D02	D03	D00	D07	D09
Quantity	4	2	2	2	2	2	2	2	12	2	2	2
Height	2,060	1,700	2,200	2,050	2,100	2,400	2,100	2,200	2,060	2,100	2,100	2,100
Width	820	820	1,300	800	1,200	5,000	1,650	2,600	820	900	3,000	3,000
Elevation												

LEGEND

S	SINK
⬆	REDUCED LEVEL
S/O	STOVE/OVEN COOKTOP
(SA)	SMOKE ALARM
W	WASHING MACHINE
D	DRYER
F	FRIDGE
DW	DISHWASHER
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T.O.R	TOP OF ROOF
T.O.P	TOP OF PARAPET
B.I.R	BUILD IN ROBE
W.I.R	WALK IN ROBE
➡	WATER FLOW DIRECTION
X°	ROOF PITCH
(FW)	FLOOR WASTE
L/C	LINEN CUPBOARD
P.O.S	PRIVATE OPEN SPACE
LP	LIGHT POLE

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REVISION G - DA CHANGES	M.M	03/12/24
REVISION G - DA PLANS	H.H	09/12/24
REVISION G - DA PLANS: SMALL AMENDMENT	A.I	16/12/24
REVISION H - DA PLANS: SMALL AMENDMENT	H.H	18/12/24
REVISION I - BACK AMENDMENTS	M.M	10/02/25



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GROUP PTY LTD.

Contact: 0433 375 386
Email: campbellhillgroup@hotmail.com



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ASSOCIATION OF AUSTRALIA

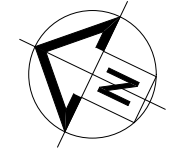
Client
ELKAD

Project Name
DUAL OCCUPANCY

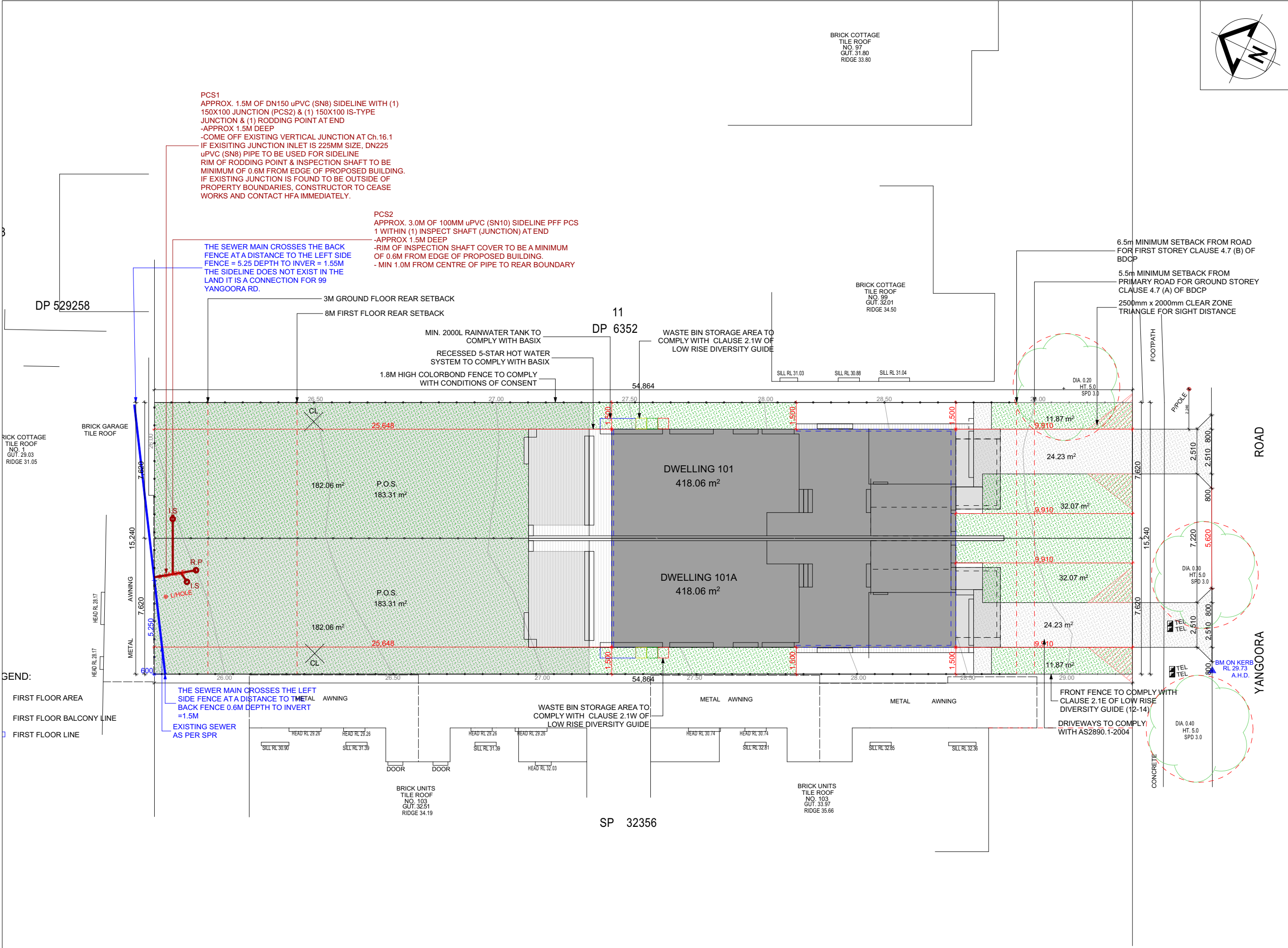
At
101 YANGOORA RD, LAKEMBA

Drawing Title:
- Window & Door Schedule
Window List, Door List

BDAA ACCREDITATION NO: 6455	Scale: As Noted Designed By: M.N	A2
Project No: CDC0208	Drawing No.: 16	
Date: 10/02/2025		



DAA ACCREDITATION NO: \$455	Scale: As Noted Designed By: M.N
Project No: CDC0208	Drawing No.: 17
Date:	10/02/2025



LEGEND

S SINK
+ REDUCED LEVEL
S/O STOVE/OVEN COOKTOP
(SA) SMOKE ALARM
W WASHING MACHINE
D DRYER
F FRIDGE
DW DISHWASHER
(DP) DOWNPIPE
T.O.R TOP OF ROOF
T.O.P TOP OF PARAPET
B.I.R BUILD IN ROBE
W.I.R WALK IN ROBE
→ WATER FLOW DIRECTION
X° ROOF PITCH
(FW) FLOOR WASTE
L/C LINEN CUPBOARD
P.O.S PRIVATE OPEN SPACE
LP LIGHT POLE

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REVISION G - DA PLANS - SMALL AMENDMENT	A.I	16/12/24
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REVISION I - BASIS AMENDMENTS	M.M	10/02/25

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BUILDING DESIGNERS
ASSOCIATION OF AUSTRALIA

Client
ELKAD

Project Name
DUAL OCCUPANCY

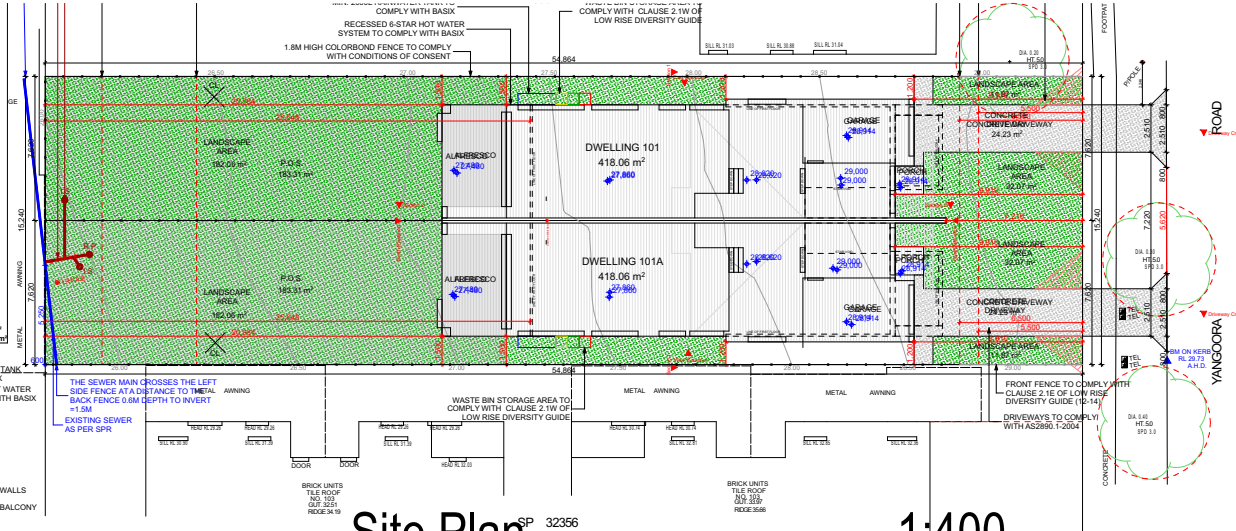
At
101 YANGOORA RD, LAKEMBA

Drawing Title:
- First Floor Setback Calculation Plan
First Floor Setback Calculation Plan

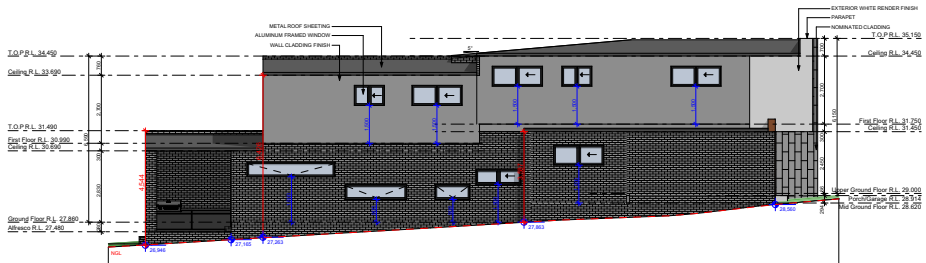
BDAA ACCREDITATION NO: 6455	Scale: As Noted Designed By: M.N	A3
Project No: CDC0208	Drawing No.: 18	
Date: 10/02/2025		

SITE AREA (CALC): 836.12m²
DWELLING 101
TOTAL SUBDIVIDED AREA: 418.06m²
GROUND FLOOR LIVING: 102.48m²
FIRST FLOOR LIVING: 103.97m²
STAIRCASE VOID: 7.22m²
GARAGE: 16.50m²
PORCH: 2.32m²
ALFRESCO: 23.94m²
BALCONY: 8.60m²
PRIVATE OPEN SPACE: 182.87m²
DRIVEWAY: 24.08m²
TOTAL ROOF AREA: 169.50m²
DWELLING 101A
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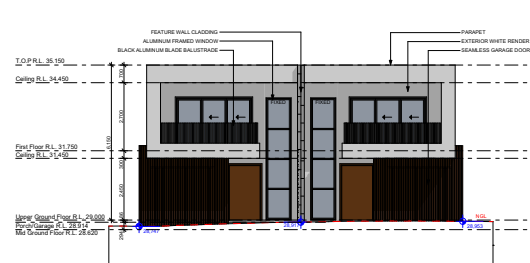
LANDSCAPE RATIO:
REQUIRED (min.): 45% Between dual occupancy and the primary frontage.
Proposed for DWELLING 101: 28.21m²
Proposed for DWELLING 101A: 28.21m²
LEGEND:
MIN. 2000L RAINWATER TANK TO COMPLY WITH BASIX
RECESSED 5-STAR HOT WATER SYSTEM TO COMPLY WITH BASIX
CONCRETE AREA
LANDSCAPE AREA
PRIVATE OPEN SPACE
WASTE BINS
DEPCTS FIRST FLOOR WALLS
DEPCTS FIRST FLOOR BALCONY



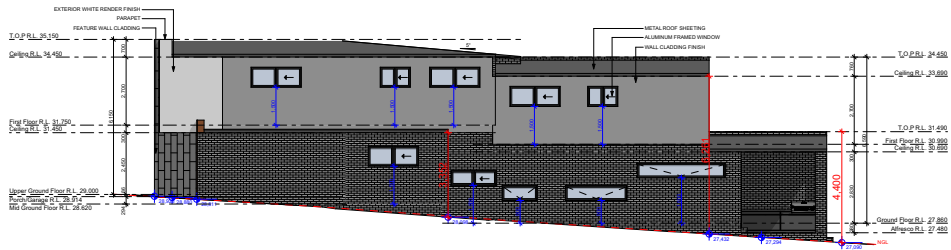
Site Plan SP 32356 1:400



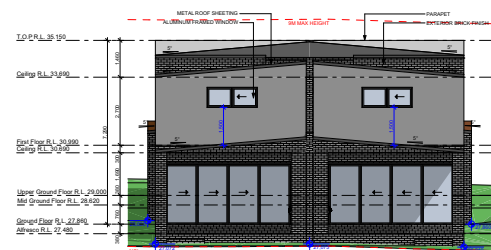
West Elevation



South Elevation



East Elevation



North Elevation

LEGEND

S SINK
S/O REDUCED LEVEL
SA STOVE/OVEN COOKTOP
W WASHING MACHINE
D DRYER
F FRIDGE
DW DISHWASHER
DN DOWNPIPE
T.O.R TOP OF ROOF
T.O.P TOP OF PARAPET
B.I.R BUILD IN ROBE
W.I.R WALK IN ROBE
→ WATER FLOW DIRECTION
↘ ROOF PITCH
⊙ FLOOR WASTE
⊙ LINEN CUPBOARD
P.O.S PRIVATE OPEN SPACE
LP LIGHT POLE

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REVISION E - FINALISED PLANS	K.N	04/03/24
REVISION F - PCA CHANGES	M.M	05/11/24
REVISION G - DA CHANGES	M.M	03/12/24
REVISION H - DA PLANS	H.H	09/12/24
REVISION I - CONCRETE WALLS/ROOFING	A.I	16/12/24
REVISION J - CONCRETE WALLS/ROOFING	H.H	18/12/24
REVISION K - CONCRETE WALLS/ROOFING	M.M	10/02/25

CAMPBELL HILL GROUP PTY LTD.
Contact: 0433 375 386
Email: campbellhillgroup@hotmail.com

bdqa
BUILDING DESIGNERS
ASSOCIATION OF AUSTRALIA

Client
ELKAD

Project Name
DUAL OCCUPANCY

At
101 YANGOORA RD, LAKEMBA

Drawing Title:
- A4 Notification Plan
Site Plan, South Elevation, West Elevation, North Elevation, East Elevation

BDAA ACCREDITATION NO: 6455 Scale: As Noted
Designed By: M.N

Project No: CDC0208 Drawing No.: 20

Date: 10/02/2025

BASIX COMMITMENTS NOTES

REFER TO APPROVED BASIX
101 Yangoora Road, Lakemba

WATER				
Fixtures	All Shower Heads	All toilet flushing systems	All kitchen taps	All bathroom taps
	4 star (> 6 but <= 7.5 L/min)	4 star	5 star	6 star
Alternative water source	Individual rainwater tank to collect run off from at least 130 m ² of roof area - Tank size min 2000 litres			
	The applicant must connect the rainwater tank to:			
	Outdoor tap connection	Toilet connection	Laundry connection	Pool top up
	Yes	Yes	No	N/A
ENERGY	Hot water system: Gas Instantaneous with a performance of 6 stars			
	Bathroom ventilation system: Individual fan, ducted to façade or roof; manual switch on/off			
	Kitchen ventilation system: Individual fan, ducted to façade or roof; manual switch on/off			
	Laundry ventilation system: Individual fan, ducted to façade or roof; manual switch on/off			
	Cooling system: 1 Phase air-conditioning EER 3.0-3.5 in at least 1 living/bed area			
	Heating system: 1 Phase air-conditioning EER 3.0-3.5 in at least 1 living/bed area			
	Natural lighting: As per BASIX			
	Artificial lighting: As per BASIX			
	Must install a gas cooktop and electric oven. Must install a fixed outdoor clothes drying line as part of the development.			

LEGEND

S	SINK
⬆	REDUCED LEVEL
S/O	STOVE/OVEN COOKTOP
(SA)	SMOKE ALARM
W	WASHING MACHINE
D	DRYER
F	FRIDGE
DW	DISHWASHER
(DP)	DOWNPIPE
T.O.R	TOP OF ROOF
T.O.P	TOP OF PARAPET
B.I.R	BUILD IN ROBE
W.I.R	WALK IN ROBE
→	WATER FLOW DIRECTION
X°	ROOF PITCH
(FW)	FLOOR WASTE
L/C	LINEN CUPBOARD
P.O.S	PRIVATE OPEN SPACE
LP	LIGHT POLE

GENERAL NOTES

- THE BUILDER SHALL CHECK AND VERIFY ALL DIMENSIONS AND VERIFY ALL ERRORS AND OMISSIONS TO THE ARCHITECT. DO NOT SCALE THE DRAWINGS. DRAWINGS SHALL NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL ISSUED BY THE ARCHITECT FOR CONSTRUCTION.

- CHECK ALL DIMENSIONS ON THE JOB PRIOR TO COMMENCEMENT OF KITCHEN DRAWINGS OR FABRICATION. ANY DISCREPANCIES TO BE REFERRED TO THE ARCHITECT/ENGINEER/ DESIGNER PRIOR TO COMMENCEMENT OF WORK.

- ALL WORK TO BE IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA, HNSW DESIGN STANDARDS, THE LOCAL COUNCIL AND AUSTRALIAN STANDARDS.

- ALL DRAWINGS SHOULD BE READ IN CONJUNCTION WITH ARCHITECTURAL SPECIFICATION AND SCHEDULES, CONSULTANTS DOCUMENTATION.

- DRAWINGS ARE NOT TO BE SCALED FOR DIMENSIONING PURPOSES, FIGURED DIMENSIONS SHALL PREVAIL.

- FOOTINGS AND BEAMS TO ENGINEERS DRAWING AND DETAIL.

- TIMBER USED SHALL BE IN ACCORDANCE WITH AS 1684 OF TIMBER FRAMING CODE.

- PROVIDE 50mm SETDOWN TO SLAB TO WET AREA (GROUND FLOOR).

- WET AREAS TO BE IN ACCORDANCE WITH AS3740 WATERPROOFING OF WET AREAS WITHIN RESIDENTIAL BUILDINGS.

- SMOKE ALARMS ARE TO BE INSTALLED IN ACCORDANCE WITH AS3786. ALARMS TO BE POSITIONED ON THE CEILING AND SET BACK A MINIMUM DISTANCE 300mm FROM ANY WALL.

- ALL GROUND LINES ARE APPROXIMATE ONLY AND ARE TO BE VERIFIED ON SITE

- ALL WINDOW SIZES ARE APPROXIMATE ONLY AND FINAL SIZES MUST BE DETERMINED BY THE BUILDER

- CONCEALED METAL FASTENED SHEET TO BE USED FOR ALL SKILLION ROOF COVERING

REVISION	NAME	DATE
REVISION A	M.N	06/10/21
REVISION B	M.N	25/11/21
REVISION C	F.G	18/05/23
REVISION D - CLIENT CHANGES	M.N	28/07/23
REVISION E - FINALISED PLANS	K.N	04/03/24
REVISION E - PEGOUT	H.H	11/10/24
REVISION F - PCA CHANGES	M.M	05/11/24
REVISION G - DA CHANGES	M.M	03/12/24
REVISION G - DA PLANS	H.H	09/12/24
REVISION G - DA PLANS- SMALL AMENDMENT	A.I	16/12/24
REVISION H - DA PLANS- SMALL AMENDMENT	H.H	18/12/24
REVISION I - BASIX AMENDMENTS	M.M	10/02/25



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BUILDING DESIGNERS
ASSOCIATION OF AUSTRALIA

Client
ELKAD

Project Name
DUAL OCCUPANCY

At
101 YANGOORA RD, LAKEMBA

Drawing Title:
- Basix Requirements
BASIX COMMITMENTS TABLE, 101 Yangoora Road, Lakemba, NatHERS
Summary Table - Dwelling 101 101 Yangoora Road Lakemba, NatHERS
6455
Project No:
CDC0208
Date:

Designed By: M.N
Drawing No.:
21
10/02/2025

Dwelling 101, 101 Yangoora Road LAKEMBA NSW 2195			
Building Elements		Material	Detail
External walls	Brick Veneer		HD R2.5 bulk insulation (except Garage)
	FC cladding		HD R2.5 bulk insulation
Internal walls	Plasterboard on studs		HD R2.5 bulk insulation to internal walls adjacent to garage and Bath
	Party wall (Cavity Brick)		-
Ceilings	Plasterboard		- R4.0 bulk insulation to all ceilings adjacent to roof space - R4.0 bulk insulation to Garage ceiling roof space and floor above
Floors	Concrete raft slab		-
	Timber		-
Roof	Colorbond (Dark)		R1.3 anticon blanket
Window/doors			
Windows	Glass & frame type	U and SHGC values	Details
ALM-001-01	Aluminium framed single clear	U value: 6.70 and SHGC 0.57	W06 Butlers, W07 Kitchen, W04 Living
ALM-002-01	Aluminium framed single clear	U value: 6.70 and SHGC 0.70	W01 Entry/Void, W02 Bed 5, W05 Study, D07 Master Bed, W02 Master Bed, W02 Bed 2, W02 Bed 3, W02 Bed 4, W03 Bathroom, W03 Ensuite, D05 Living
U and SHGC values are according to NFRC. Alternate products may be used if the U value is the same or lower and the SHGC is within 5% of the above figures. This also applies to changes to the type and thickness of glass required to meet Bushfire and acoustic regulations.			
Ceiling fans 1200mm ceiling fans to Master Bed, Bed 2, Bed 3, Bed 4, Bed 5 1400mm ceiling fan to Living			
Lighting: This dwelling has been rated with non-ventilated LED downlights as per NatHERS certificate.			
Note: Insulation specified must be installed in accordance with BCA Volume Two.			
Note: If metal frames are used, a revised assessment is required			
Note: In some climate zones, insulation should be installed with due consideration of condensation and associated interaction with adjoining building materials.			
Note: Self-closing damper to bath, ensuite and laundry exhaust fans.			

Dwelling 101A, 101 Yangoora Road LAKEMBA NSW 2195			
Building Elements		Material	Detail
External walls	Brick Veneer		HD R2.5 bulk insulation (except Garage)
	FC cladding		HD R2.5 bulk insulation
Internal walls	Plasterboard on studs		HD R2.5 bulk insulation to internal walls adjacent to garage and Bath
	Party wall (Cavity Brick)		-
Ceilings	Plasterboard		- R6.0 bulk insulation to all ceilings adjacent to roof space (R3.0 eaves edge) - R4.0 bulk insulation to Garage ceiling roof space and floor above
Floors	Concrete raft slab		-
	Timber		-
Roof	Colorbond (Dark)		R1.3 anticon blanket
Window/doors			
Windows	Glass & frame type	U and SHGC values	Details
ALM-002-01	Aluminium framed single clear	U value: 6.70 and SHGC 0.70	W03 Bathroom, W03 Ensuite
ALM-005-03	Aluminium framed double high solar gain low e argon fill	U value: 4.10 and SHGC 0.47	W06 Butlers, W07 Kitchen, W04 Living
ALM-006-03	Aluminium framed double high solar gain low e argon fill	U value: 4.10 and SHGC 0.52	W01 Entry/Void, W02 Bed 5, W05 Study, D05 Living, D07 Master Bed, W02 Master Bed, W02 Bed 2, W02 Bed 3, W02 Bed 4
U and SHGC values are according to NFRC. Alternate products may be used if the U value is the same or lower and the SHGC is within 5% of the above figures. This also applies to changes to the type and thickness of glass required to meet Bushfire and acoustic regulations.			
Ceiling fans 1200mm ceiling fans to Master Bed, Bed 2, Bed 3, Bed 4, Bed 5 1400mm ceiling fan to Living			
Lighting: This dwelling has been rated with non-ventilated LED downlights as per NatHERS certificate.			
Note: Insulation specified must be installed in accordance with BCA Volume Two.			
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Note: Self-closing damper to bath, ensuite and laundry exhaust fans.			